

AGENDA

FOR THE REGULAR MEETING OF THE CITY OF BELEN PLANNING AND ZONING COMMISSION, STATE OF NEW MEXICO, COUNTY OF VALENCIA TO BE HELD ON MONDAY THE 27TH OF MARCH 2017 AT 6:30 PM IN THE COUNCIL CHAMBERS AT CITY HALL, 100 SOUTH MAIN STREET, BELEN, NEW MEXICO 87002.

ALL P & Z COMMISSION MEETINGS ARE VIDEO AND AUDIO RECORDED.

A COPY OF THE AGENDA CAN BE OBTAINED FROM THE OFFICE OF THE CITY OF BELEN PLANNING & ZONING DEPARTMENT.

1. CALL TO ORDER
2. ROLL CALL
3. PLEDGE OF ALLEGEANCE
4. APPROVAL OF AGENDA
5. APPROVAL OF MINUTES:
March 13, 2017
6. PUBLIC HEARING WITH POSSIBLE ACTION
 - A. REQUEST FOR ANNEXATION OF PROPERTY LOCATED AT 7 LOPEZ LOOP: PATRICK SANCHEZ. LEGAL DESCRIPTION: Township 5 North, Range 1 East, Section 7, Tract B, Map 97, Lands of Placido & Herman Sanchez, containing .63 acres, AKA 7 Lopez Loop, Belen NM .
 - B. REQUEST FOR A WIRELES TELECOMMUNICATIONS FACILITIES PERMIT: BROADBAND NETWORK OF NEW MEXICO LLC. Legal Description: Township 5 North, Range 2 East, Section 18, Map 100, located within the City Right of Way on the south side of the intersection at Baca Ave and Sixth St.
 - C. REQUEST FOR A ZONE CHANGE FROM R-1 TO R-2 AND A VARIANCE ON THE SETBACK RESTRICTIONS: MIKE BALDONADO, for the purpose of constructing a duplex. LEGAL DESCRIPTION: Township 5 North, Range 2 East, Section 18, Map 100, Tract 57A1, containing .11 acres, aka 133 S Tenth St., Belen NM 87002.
 - D. REQUEST FOR A VARIANCE ON FENCE HEIGHT RESTRICTIONS: RYAN LANG. LEGAL DESCRIPTIONS: Township 5 North, Range 1 East, Section 13, Lot B, Payne Addition, aka 501 s Thirteenth St., Belen NM 87002.
7. OPEN COMMENTS/REQUESTS
8. ADJOURNMENT

RESPECTFULLY SUBMITTED

/s/
Lisa R Miller
Planning & Zoning Administrator

cc: Mayor & City Council
News Bulletin

Belen Chamber of Commerce
Belen Recreation Center

Belen Public Library
Belen City Hall

JERAH R CORDOVA
MAYOR
LEONA VIGIL
CITY MANAGER



CITY OF BELEN
100 SOUTH MAIN STREET
BELEN, NEW MEXICO 87002
(505) 966-2746
www.belen-nm.gov

WAYNE GALLEGOS
CITY COUNCIL
DAVID CARTER
CITY COUNCIL
DARLEEN ARAGON
MAYOR PRO-TEM
FRANK ORTEGA
CITY COUNCIL

**CITY OF BELEN
PLANNING & ZONING COMMISSION MEETING
MINUTES
MARCH 13, 2017**

Chairman Steve Etheridge called the regular meeting of the Belen Planning and Zoning Commission meeting to order at 6:30 p.m.

PRESENT: Chairman Steve Etheridge
Vice Chair Pete Armstrong
Commissioner Debbie Thompson
Commissioner Claudine Montano

ABSENT: Commissioner Gordon Reeves

CITY STAFF: Steven Tomita, Economic Development Director
Lisa Miller, Planning & Zoning Administrator

PLEDGE OF ALLEGEANCE
Chairman Steve Etheridge

APPROVAL OF AGENDA:
Vice Chair Pete Armstrong moved to approve the agenda.

Commissioner Debbie Thompson seconded the motion.

Motion Carried.

APPROVAL OF MINUTES:

Commissioner Claudine Montano moved to approve the minutes of February 27, 2017 with corrections.

Vice Chair Pete Armstrong seconded the motion.

Motion carried.

PUBLIC HEARING WITH POSSIBLE ACTION

- A. REQUEST FOR ANNEXATION OF PROPERTY LOCATED AT 7 LOPEZ LOOP: PATRICK SANCHEZ. LEGAL DESCRIPTION:** Township 5 North , Range 1 East, Section 7, Tract B, Map 97, lands of Placido & Herman Sanchez, Containing .63 acres, aka 7 Lopez Loop, Belen NM 87002.

Lisa Miller informed the Commission that Mr. & Ms. Sanchez came into the office and asked to have that piece of property into the City limits. It abuts the existing city limits.

Commission Debbie Thompson asked if the City could provide water and sewer services to the property.

Lisa Miller said that they would have to supply their own lines to where the city main lines are located.

Steven Tomita asked if the road would also be annexed into the City limits.

Lisa Miller said that any road that is located next to a piece of property is automatically annexed along with the property.

Steven Tomita asked how wide the road was.

Commissioner Debbie Thompson said about a car and a half wide. It is a very narrow dirt road.

Steven Tomita said that if it was annexed into the city they would need to provide the city with more property for the road. The road does not meet the City Standards.

Mr. Patrick Sanchez said that the property is directly across from Castillo Ready Mix's office. He informed the Commission that his home and his sister's home are already connected to the City sewer system and he would like to connect 7 Lopez Loop. He wants to get that home off of the septic tank and well and put it on City utilities. He informed them that he would be required to put in a pump.

Vice Chair Pete Armstrong asked where the water lines are located on Lopez Loop.

Lisa Miller said that there is a water line that goes from HWY 314 to Castillo Ready Mix, but he was the one who put that in, so it is his private water line and not the City's.

Mr. Patrick Sanchez explained that when the City did all the work on HWY 314 they put stub outs for all of the properties that on 314, so he hooked up his home to the sewer lines

and then later added his sister's home to his line. He would like to add 7 Lopez Loop to his line.

Vice Chair Pete Armstrong asked what the process was, for the City, to extend their sewer and water lines so that someone can hook up to them.

Lisa Miller informed the Commission that it is the owner's responsibility to provide the water and sewer line to our main line.

Mr. Patrick Sanchez said that he is hooked up to both water and sewer at his home at 19345A HWY 314. His sister's home is at 19345B HWY 314 and she is hooked up to the sewer at his home. The sewer line is a 4" line.

Steven Tomita said that he would like to get some input from our utilities department on the availability of the water and sewer and also from the fire department concerning fire protection.

Chairman Steve Ethridge said that what is being requested should get the ok from the utilities to see if it is acceptable, capacity wise, constriction wise and fire protection wise. The city would be accepting the maintenance of this.

Mr. Patrick Sanchez said that the City would not be accepting the maintenance because the line is on his property and is his line.

Chairman Steve Ethridge said that the reason that we go through this kind of stuff is the fact that at some time or another someone else may own your property and want to sell the others and that leaves the others in a bind. These things need to be done according to our Ordinances not only to protect you but also protect us.

Vice Chairman Pete Armstrong said that there are essentially going to be three homes on one line.

Mr. Patrick Sanchez said that at this time the home that he is requesting to be annexed is on a septic system and feels it is a good idea to get another septic system out of service.

Vice Chair Pete Armstrong said that they are questioning the capacity of the 4" line with another home being hooked up to it.

Chairman Steve Ethridge said that they need to make sure they are not creating a bigger problem than they are solving.

Vice Chair Pete Armstrong said that they want to look after him and look after the City.

Mr. Patrick Sanchez said that he does not understand is that the line has nothing to do with the City since it is on his property. The only thing they have a say in is where it connects to the City's main line.

Steven Tomita said that once he is annexed into the City Limits we are responsible to serve your property which includes police and fire protection. He asked how the fire trucks would serve his property and where is the nearest fire hydrant to this property.

Mr. Patrick Sanchez said that it is right in front of his home on HWY 314.

Steven Tomita said that the fire department needs to confirm that they can access the hydrant to provide services to that home because they can drag their hoses only so far. He also questions whether the road is a 50 foot road, because if it is not 50 feet then the City will need to purchase extra property from him to meet this requirement. Mr. Sanchez would then lose some of his property.

Mr. Patrick Sanchez said that if he had to give extra property to the City for this road then there would be no house left.

Commissioner Claudine Montano said that she tried to get onto Lopez Loop today and she ended up having to go around and get on Lopez Loop by the Giant Gas Station and come in on the backside because one of Mr. Castillo's trucks was on the road.

Mr. Patrick Sanchez said that Lopez Loop should be a one way street.

Steven Tomita said that there is a wright-of- way problem on that road. It is a narrow road. Our design standards call for a 50' road easement.

Commissioner Debbie Thompson asked if the fire trucks would be able to access this home by going through Mr. Sanchez's' property instead of Lopez Loop.

Steven Tomita said it is not the fire trucks he is referring to but the distance from a fire hydrant to the home and how far fire personnel would have to drag their fire hoses. The Fire Department needs to determine whether it is adequate or not.

Vice Chair Pete Armstrong said that he does not want Mr. Sanchez to take it wrong and feel that the City does not want this. They are just being sure that the City can protect his interest along with protecting the City's interest. He does not think that this is a huge setback and asks that this be tabled until the next meeting so that the staff can get the extra information from the different departments so that the Commission can make a reasonable sound decision for both Mr. Sanchez and the City.

Commissioner Debbie Thompson moved that this request be tabled until the next meeting.

Vice Chair Pete Armstrong seconded the motion.

Motion carried.

Vote was as follows:

Commissioner Claudine Montano	Yes
Commissioner Debbie Thompson	Yes
Vice Chair Pete Armstrong	Yes

Chairman Steve Ethridge Yes
Vice Chair Pete Armstrong asked the staff if there were any administrative policies in place on the process and information needed for each of the requests that the Planning & Zoning Commission addresses.

Lisa Miller said that there are policies in place and the P & Z Commission was given a copy of these in their Commission Handbooks.

Steven Tomita said that one of the problems that he has with this is the fact that we do not know for sure if the line is actually a 4" line and he is going to have three homes hooked up to the same line, so will this line handle three homes or is it going to cause problems.

Vice Chair Pete Armstrong said that there are a lot of issues here. There is the access for water, the distance from a fire hydrant, and the width of the road and he feels that these issues need to be addressed before the Commission can make a good decision.

DISCUSSION WITH POSSIBLE ACTION

P & Z Meeting time change

Commissioner Claudine Montano informed the Commission that this was placed on the agenda with possible action because it was discussed at the last meeting and she would like a decision from the Commission on changing the time of the meetings. She feels it would be better if it was earlier. She first suggested three PM because other places have them during the day and for the staff because they stay here after regular work hours for these meetings. Five PM was discussed at the last meeting which is also easier but the possibility of some of the Commission not being able to attend if the time was changed.

Commissioner Debbie Thompson said that the soonest that she could get to the meetings would be at 6 PM and that is pushing it. She said it was up to the rest of the Commissioners as to when they would like to meet.

Vice Chair Pete Armstrong said that he would hate to see Commission Thompson go because she adds a lot to this Commission and hope that a mutual time can be worked out so that all the existing Commissioners can agree on.

Chairman Steve Ethridge said that this is a discussion with possible action and there have already been legal adds placed in the paper for the meeting of the 27th, so if the Commission wishes to change times it would have to begin with the April Meetings.

Commissioner Debbie Thompson moved to change the meeting time to 6 PM starting in April.

Chairman Steve Ethridge seconded the motion.

Motion carried.

Vote was as follows:

Commissioner Claudine Montano	Yes
Commissioner Debbie Thompson	Yes
Vice Chair Pete Armstrong	Yes

Chairman Steve Ethridge

Yes

DISCUSSION

Airport Overlay Zone-Joint Power Agreement

Steven Tomita informed the Commission that a copy was provided in their packets and he hoped that they read over it in preparation for the meeting. He has a couple of things that he would like to go over. He has spoken with the Airport Manager and she is having a hard time understanding where we are going with this. She is more focused on the airport itself and not the surrounding area. Our Ordinances call for the creation of an Airport Commission, and that airport commission is also focused on the airport itself. Our Ordinance also calls for a Airport Master Plan which is our ultimate goal. We are trying to come up with a joint power of agreement between the City and the County to exercise our three mile plotting and platting jurisdiction bringing the City and the County together with joint jurisdiction for that area. What he hopes comes of this is a Commission that has both City and County representation to review developments and plans for that area then it would be presented to the County and the City for final approval. He would like for the City to have the final governing body only because the airport is actually located within the City Limits.

Vice Chair Pete Armstrong said that he has read the document over several times and the area he has a big concern with is the preparation of a long range development plan that the document calls for. It calls for the consent of the County and City governing bodies. He likes the idea of both working together but does another layer really need to be created for this.

Steven Tomita said that the issue is who is doing the vetting on this as we are proceeding, who has the lead and who is the driving force and that is one of the issues that we face on that. We can change the wording in the draft document that we have to distinguish who.

Vice Chair Pete Armstrong asked if the County had been approached with this idea of the JPA with our suggestions, for their review.

Steven Tomita said that the County has been provided with a copy of the same JPA document that they have and they have not replied. The County was unable to attend tonight but they wish to meet with the department, which we will be doing.

Vice Chair Pete Armstrong said that he would like to add language to it, review it and then send it to the County for their opinions. He would like to see a Commission created and what authority they would have added to the document.

Steven Tomita said it could be done and you can word it so that it will state who the final approval authority is and he feels that it should be the City of Belen because the airport is within city limits and with the growth expected there, the City will more than likely annex more territory into the City. The most pressing step is to come up with the future land use of the area.

Vice Chair Pete Armstrong said that they need to take the first step and add the wording to the JPA document and get it to the County for review. The rest of the document is well done. We need to also include the Airport Manager in this. She needs to understand that she has an input to this also. The area around the airport and not just the runway will affect the airport.

OPEN COMMENTS/REQUESTS

Vice Chair Pete Armstrong would like more information on the process of removing trees from the City easements along the streets. The seven trees that fell down during the last wind storm were removed without even notifying the residents. Most of the trees were still very much alive with a few of the branches coming down and the whole tree was removed. Some of the neighbors are very upset about it.

Steven Tomita said that it was at the discretion of the City Manager. The best bet would be for him to speak with her.

Chairman Steve Ethridge said that there will be a meeting at the Willie Chavez Park for input on revitalizing the park. It will be Wednesday morning at 9:00 AM. (March 15, 2017)

Steven Tomita said that the Main Street Organization meet with our local manufacturing companies to start a technical program within the Belen Consolidated School system. They will be offering a summer program this year as a prototype to see how it will be received. It will be called Maintenance Technician Training and will be a six week class and when you finish with the class you will be a certified Maintenance Technician. That certification will allow you to get a job in any trade field and then the manufacturer would further your education on the specifics application of your job and the machinery that you will be working on. This program will then go into the Belen School Curriculum.

Chairman Steve Ethridge said he is glad to see this because not everything requires a rounded college education. He also saw on the news where a school in Albuquerque is building a tiny house as a project. He also brought up the MRCOG 2017 Planning Commissioners Workshop and encouraged everyone to attend. Tiny Houses are one of the topics at that Workshop.

ADJOURNMENT

There being no further business to come before the City of Belen Planning & Zoning Commission, Vice Chair Pete Armstrong moved to adjourn.

Commissioner Debbie Thompson seconded the motion.

Motion carried.

The regular meeting of the City of Belen Planning & Zoning Commission adjourned at 7:48 pm.

Chairman Steve Ethridge

ATTEST: _____
Steven Tomita, Economic Development Director

CITY OF BELEN
100 SOUTH MAIN STREET
BELEN NM 87002
(505) 864-8221

NOTICE OF PUBLIC HEARING

NOTICE IS HEREBY GIVEN that the Belen Planning and Zoning Commission will conduct a public hearing to consider the following property for annexation into the current city limits with a R-1 (Residential) Zoning Designation.

LEGAL DESCRIPTION: Township 5 North, Range 1 East, Section 7, Tract B, Map 97, Lands of Placidio & Herman Sanchez, containing .63 acres, AKA 7 Lopez Loop, Belen NM

You are further notified that this public hearing will be held on **Monday, March 13, 2017 at 6:30 PM**, in the Council Chambers at City Hall, 100 South Main Street, Belen NM 87002.

The City Council will conduct a public hearing with possible action to consider this annexation on **Monday March 20, 2017 at 6:00 PM**, in the Council Chambers at City Hall, 100 S Main Street, Belen NM 87002.

Any person having objections or wishing to be heard should attend the above scheduled hearings or may write comments to the Planning & Zoning Department, 100 South Main Street, Belen NM 87002.

LEGAL NOTICE PUBLISHED: February 23, 2017

PETITION FOR ANNEXATION

Name and address of Petitioner (s): Patrick A. Sanchez
19245 A Highway 314
Belen, Nm 87002

I (We), own the following-described property:
Land of Placido and Herman Sanchez
Tract B 1993 Rev
Map 97 .63 AC D-5-7
The total acreage of the property is:
.63 acre

The above-described property is located within the area that is proposed for annexation, as shown on the attached plat and description.

I (WE), hereby petition the City of Belen to annex the territory as designated on the attached plat and description.

NAME:

Patrick A. Sanchez

DATE:

02/04/2017

Instruction:

1. Fill in your name and address; property description, and the total acreage of your property.
2. Attach a survey and legal description of your property.
3. Sign and date your petition; file the petition with the City Planning and Zoning Department and request a date on which your petition will be presented to the Planning and Zoning Commission and City Council.

**CITY OF BELEN, NEW MEXICO
DEVELOPMENT REVIEW APPLICATION**

Date of Application: 2-6-17
Name of Development: _____
Case Number: _____

TYPE OF DEVELOPMENT:

- | | |
|-----------------------------------------------------|--------------------------------------------------------------------|
| <input type="checkbox"/> Subdivision | <input type="checkbox"/> Special Use Permit |
| <input type="checkbox"/> Sketch Plan | <input type="checkbox"/> Conditional Use Permit |
| <input type="checkbox"/> Preliminary Plat | <input type="checkbox"/> Limited to Six Months |
| <input type="checkbox"/> Final Plat | <input type="checkbox"/> Variance |
| <input type="checkbox"/> Preliminary and Final Plat | <input type="checkbox"/> Appeal |
| <input type="checkbox"/> Amendment to Zoning Map | <input checked="" type="checkbox"/> Annexation: <u>.63</u> acreage |

Applicants Name: Patrick A. Sanchez Phone: 505-864-7154

Address: 19245A Hwy 314, Belen, NM 87002

Authorized Agents Name: _____ Phone: _____

Address: _____

Address of Property: 07 Lopez Loop
Block and Lot: _____ Addition: _____
Tract Number: B Map: 97
Total acreage in Tract: .63
Number of Dwellings: 1 Density/Acre: _____
Zoning of Property: _____ Present Use: Residential
Requested Zoning: _____

ADMINISTRATION

Application Received By: [Signature] Date: 2-6-17

Filing Fee: \$ 25.00

Scheduled Review of Application by:

Planning and Zoning Commission Date: 3-13-17
Belen City Council: Date: _____

Original Mylar Submitted: ☐ Yes ☐ No Date: _____

OWNERS AFFIDAVIT

STATE OF NEW MEXICO)
COUNTY OF VALENCIA) SS
CITY OF BELEN)

We, Patrick A. Sanchez
(Please PRINT name in full)

being duly sworn, depose and say that (I am) (we are) the owner(s) of property located at
C7 Lopez Loop, Belen, NM 87002 for which (I am) (we are)
(Address)

requesting a (Zone Change, Special Use Permit, Variance, Conditional Use, Annexation, Appeal,
Replat, Lot Split, Etc.)

_____ through the City of Belen. Furthermore, (I) (we) hereby appoint
_____ of _____ as our agent to act in our
behalf on all matters pertaining to the processing of this application.

Patrick A. Sanchez
Signed

19245A Hwy 314
Address

Belen, NM 87002

505-864-7154
Phone

Subscribed and sworn to before me this 6th day of February, 20 17.

Lisa R. Miller
Notary

My Commission Expires:

9-13-17



STATE OF NEW MEXICO
COUNTY OF VALUENGA
FILED FOR RECORD
NOV - 5 1992
COUNTY CLERK
REC'D
FILED

LOT 21 BRENT ESTATES ADDITION
PLAT FILED JUNE 5, 1961

TIED TO N.M.
CRA STAMPE
FOUND ALONG
OLD U.S. HWY.
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1" = 50'

LOPEZ ROAD

TRACT "A"
(2.000 AC.)

TR. 40

TRACTS 5
SHOWN ON F
IN BOOK 260.

TRACT "B"
(0.631 AC.)
(SEE NOTE NO. 6)

TR. 5-A
TR. 5-B
V. 9.0 S.
V. 4 C.D.

TRACT "C"
(0.631 AC.)
(SEE NOTE NO. 6)

TRACT "D"
(0.631 AC.)
(SEE NOTE NO. 6)

TRACT "E"
(0.631 AC.)
(SEE NOTE NO. 6)

TRACT "F"
(0.631 AC.)
(SEE NOTE NO. 6)

STATE OF N.M.
COUNTY OF VALUENGA
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[R.G.C.D.]

Lisa Miller

From: Tommy Flores
Sent: Tuesday, March 21, 2017 1:57 PM
To: Lisa Miller
Subject: Re: 7 Lopez Loop

Lisa there is 23 feet from pole to concrete and 30 feet from gas meter to concrete is this what you wanted let me know

Sent from my iPhone

Tommy Flores | COMMUNITY MAINTENANCE DIRECTOR
City of Belen

On Mar 20, 2017, at 11:42 AM, Lisa Miller <Lisa.Miller@belen-nm.gov> wrote:

Can you please write a response to the request I made on the annexation of 7 Lopez Loop and our city utilities, etc. It can be emailed to me. I am trying to get my packets ready for the P & Z Meeting and would like them done by Wednesday.

Lisa Miller | Planning & Zoning Administrator

Planning & Zoning Department
City of Belen
100 S. Main St
Belen, NM 87002
Office/Fax: 505-966-2746

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Lisa Miller

From: Charles Cox
Sent: Wednesday, March 22, 2017 4:08 PM
To: Lisa Miller
Subject: 7 Lopez Loop

Lisa,

The dwelling at 7 Lopez Loop is approximately 1,100 sq ft in size, and the nearest fire hydrant is located on Hwy 314 north of Lopez Loop on the south bound side of Hwy 314. The distance from the dwelling to the hydrant is approximately 1200 ft. The dwelling has a small foot print and if there was a fire at this address, supply water to extinguish the fire would not be problem since the Belen Fire Department has the capability to carry 7,000 gals of water between three fire attack pump/tankers. The road access is not problem for fire equipment to entrance or exit the non-paved road.

CHARLES COX | Fire Inspector
City of Belen Fire Department
100 S. Main Street | Belen, NM 87002
(505) 966-2717

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Lisa Miller

From: Ralph A. Jaramillo
Sent: Wednesday, March 22, 2017 5:29 PM
To: Lisa Miller
Subject: Re: Lopez lp

The mains are both 8" 19245 has a 3/4 water service. Sewer looks to be a 3" service. Main water is at 6'deep main sewer is almost 13' deep

Sent from my iPhone

Ralph Jaramillo | WATER SUPERVISOR
City of Belen
[100 S. Main Street](#)
[Belen, NM 87002](#)
[505-966-2752 \(Direct\)](#) | [505-966-2752 \(Fax\)](#)

<http://www.belen-nm.gov/>

On Mar 22, 2017, at 4:22 PM, Lisa Miller <Lisa.Miller@belen-nm.gov> wrote:

How big is the water line to 19245 HWY 314 and how big is the sewer line also.

Lisa Miller | Planning & Zoning Administrator

Planning & Zoning Department
City of Belen
100 S. Main St
Belen, NM 87002
Office/Fax: 505-966-2746

From: Ralph A. Jaramillo
Sent: Wednesday, March 22, 2017 4:10 PM
To: Lisa Miller
Cc: Dale R. Tafoya
Subject: Lopez lp

Lisa

The water line on Lopez was paid for and put in by Leonard Castillo for his office and in case his permitted wells went dry. The sewer in question is on private property and from what I understand all properties must have there own line. Which makes sense if sold separately.

Sent from my iPhone

Ralph Jaramillo | WATER SUPERVISOR
City of Belen
[100 S. Main Street](#)
[Belen, NM 87002](#)
[505-966-2752 \(Direct\)](#) | [505-966-2752 \(Fax\)](#)



CITY OF BELEN
100 SOUTH MAIN STREET
BELEN, NM 87802
(505) 864-8221

WIRELESS TELECOMMUNICATIONS FACILITIES APPLICATION

APPLICATION INFORMATION:

Name, mailing address, and phone number of applicant:

Broadband Networks of New Mexico LLC, Mark Deering, 100 S. Riverside Plaza
Suite 1000, Chicago, IL 60606, 312-638-5301

WTF PERMIT APPLICATION REQUIREMENTS. (Please attach the following information for all WTF permits)

- A. No WTF may be constructed, installed, modified, or operated within the municipal limits of the city without first obtaining a permit from the city. An application for a WTF permit shall be submitted to the city zoning officer and shall include the following:
1. A general location map showing the proposed site for the WTF and surrounding lands within a ¼ mile radius of the proposed site. This map should show major roads and other features necessary to locate the site.
 2. A vicinity map showing property lines of the land on which the WTF is located, and surrounding properties adjacent to the WTF property. On-Site and off-site zoning and land uses will be indicated on the vicinity map, including the city of Belen and other zoning jurisdiction, if applicable.
 3. Documentation regarding collocation as described in these regulations;
 4. Site plans, drawn to scale, that include the following information:
 - a. All property lines, showing distances and bearings, with topography sufficient to characterize site drainage;
 - b. All existing and proposed site improvements, including buildings and structures, roadways and easements, utility lines, and landscaping, with dimensions and setbacks from property lines;
 - c. A written statement and elevation drawings of the proposed WTF, indicating the type of construction, support structure, tower height, and visual image presented by the WTF;
 - d. A notarized statement from the applicant that describes the facility's capacity and declares the number and type(s) of antenna(s) that it can accommodate, or an explanation of why the facility cannot be designed to accommodate other users;
 - e. An engineer's stamp and registration number;
 - f. A five-year plan stating their intentions and not subject to change; and
 - g. Any other information as requested by the city.
 5. For any new WTF, a letter of intent committing the WTF owner and any successors to allowing shared use of the facility if an additional user agrees in writing to meet reasonable terms and conditions of shared use.
- B. Any requests for a WTF permit will be submitted with a filing fee of one hundred dollars (\$100.00) to the zoning officer.

Applicant Signature Mark Deering Date Applicant Submitted 11/10/16

Amount of Fee Received \$100.00 #14.000544 Date Application Received 11-17-16

Date of Hearing 1-30-17 + 3-27-17 Zoning Officer Signature Lisa R. Mills

**CITY OF BELEN
100 SOUTH MAIN STREET
BELEN, NM 87002
(505) 864-8221**

NOTICE OF PUBLIC HEARING

NOTICE IS HEREBY GIVEN to the public and all parties of interest that the Belen Planning and Zoning Commission will conduct a public hearing for a **WIRELES TELECOMMUNICATIONS FACILITIES PERMIT: BROADBAND NETWORK OF NEW MEXICO LLC**.

LEGAL DESCRIPTION: Township 5 North, Range 2 East, Section 18, Map 100, located within the City Right Of Way on the south side of the intersection at Baca Ave and Sixth St.

You are further notified that this public hearing will be held on **Monday, January 30, 2017 at 6:30 PM**, in the Council Chambers at City Hall, 100 South Main Street, Belen, NM 87002. Any person having objections or wishing to be heard should make such protests to the Belen Planning and Zoning Commission at the above stated date and time. Comments should be mailed to the Belen Planning and Zoning Department at 100 South Main Street, Belen, NM 87002.

LEGAL NOTICE PUBLISHED: January 12, 2017





Broadband Network of
New Mexico, LLC
2955 Red Hill Ave, Ste. 200
Costa Mesa, CA 92626
USA Tel: (657) 361-3814
www.ITBUtility.com

Project Narrative

Description of Work: Broadband Network of New Mexico, LLC ("BNNM") proposes to construct one (1) new small cell pole within the public right-of-way, in the city of Belen ("City"), and attach one (1) Omni Multi-directional antenna, one (1) U/E Relay, and one (1) Remote Radio Head.

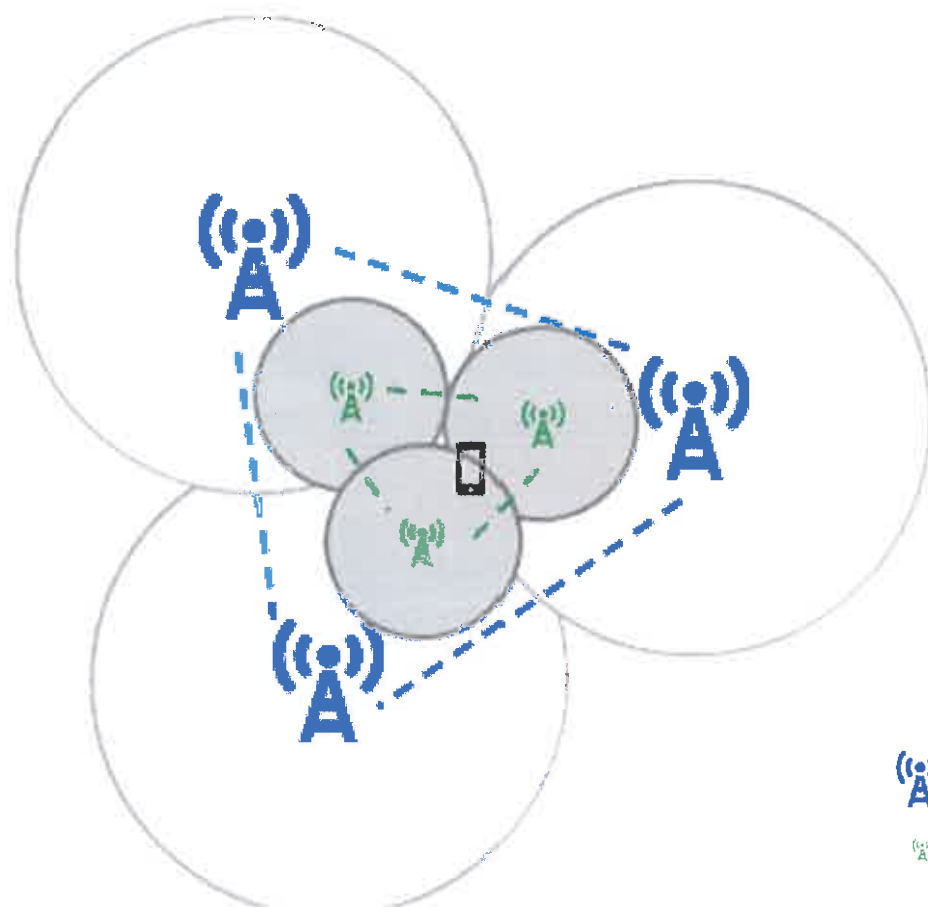
Purpose: The focal purpose of this installation is to fulfill capacity objectives caused by the rapid increased usage of wireless data and technology in the City. BNNM is constructing a new, nationwide hybrid transport network that provides high-speed, high-capacity bandwidth to facilitate the next generation of devices and data-driven services and to meet our ever-growing demand for connectivity.

Uses: This network combines fiber, repeaters and microwave technologies to ensure that the network is cost-efficient, low-impact to communities, and can be effectively upgraded and augmented in the future. Broadband Network of New Mexico's hybrid transport network can be used to support driverless vehicles (commercial, personal and agricultural), remote weather monitoring stations, rural communities where high-speed connectivity is lacking, and much more.

Footprint: Our proposed installation in Belen will play an essential role in fulfilling capacity objectives. The location of this installation and general design details are depicted in our submitted construction drawings. Overall, the footprint of our project in the City is very minimal. By installing one (1) new small cell pole we will be able to provide backhaul connectivity across the City and BNNM has eliminated the need for a significant amount of trenching that would otherwise be required for installations of fiber or traditional macro cell towers. Our small cell Omni antenna leverages cutting edge antenna technology utilizing small equipment that can be stealth to comply with City preferences.



Broadband Network of
New Mexico, LLC
2050 Red Hill Ave, Ste. 200
Costa Mesa, CA 92626
USA Tel: (657) 261-9314
www.ITRUtility.com



How it Works: Existing Macro (transport) poles and new small cell antennas work in tandem to ensure that coverage and capacity goals are met. Small cell sites densify network coverage by relaying the source signal from the transport poles wirelessly, then repeating this source signal to the end user via our small cell antenna. This allows for network densification without adding larger, and less aesthetic wireless facilities. As future capacity requirements increase, the transport poles allow for utilization of small cell sites to fill increased coverage gaps and capacity needs.



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New Wood Utility Pole

Design: Installation of one (1) 70 ft. wood utility pole within the right-of-way of the City.

Site Information: See table below.

Candidate ID	Pole Type	Installation Type	Latitude	Longitude	Pole Height (ft.)
EP90XS750A	Utility Pole	New Pole	34.658441	-106.774994	70

Analysis: When selecting a new small cell site, there are a number of considerations that we take into account, including the identified coverage area, availability of existing infrastructure within the right-of-way, height of existing infrastructure, feasibility of using existing infrastructure, and zoning district (industrial and commercial prioritized, if possible).

The first step in choosing an effective site requires us to look at the search ring provided by our client to identify the coverage area they wish to address. With the search ring area identified, the next step is to determine what types of existing infrastructure is available in this area. For this site in particular, the identified coverage area has existing infrastructure within the right-of-way, by way of wooden utility poles. Due to the lack of height with the existing infrastructure, our only feasible option for this site was the installation of a new pole.

Once our pole type had been identified, the next step is for us to find a location that works, while taking into account jurisdiction-specific preferences. For this site, the search ring covered different zonings districts and while we were mindful to make every effort to propose the site in a Commercial/Industrial area, placement in this zoning designation was unavoidable. When placing a new utility pole for a small cell site, the objective is to choose areas that maximize coverage while minimizing visual impact and also choose low traffic areas that do not have significant decorative landscaping. We sought out an area with existing utility poles in the right-of-way to ensure our new pole will blend in aesthetically.

Multiple designs were considered before determining our proposed wooden utility pole design to be the least intrusive and have the least amount of aesthetic impact. After analyzing the surrounding areas, we felt typical monopole designs were too large and would be too intrusive if placed in the right-of-way. A non-functioning streetlight design was considered in areas where there are existing street lights, however, this design was determined not to be viable due to the fact that a non-functioning streetlight would disturb the current aesthetics concerns in the area more than our proposed design and raised safety concerns. Once the utility pole design was finalized, the most sensible material to use was wood. While other materials such as metal and concrete were considered, wood would better match the existing aesthetics of the wood utility poles in the surrounding area and minimize the overall footprint of these sites.

Propagation Map Overview

Site ID
EP90XS750A
9NMB000505

Purpose: New infrastructure deployment includes activation of new 4G/5G frequency channels providing coverage and capacity to key areas of data network demand



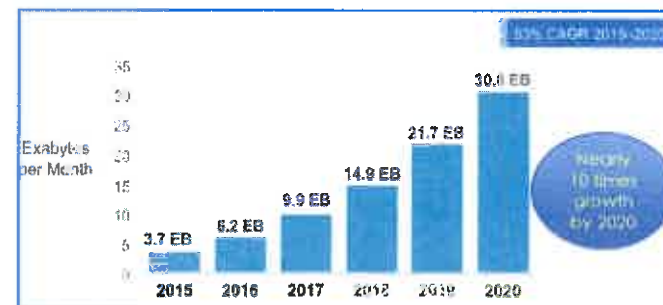
PROPRIETARY & CONFIDENTIAL

Technical Justification

This design prepares key areas for exponential network demand growth.

Sources of data growth:

- Smartphone Use
- Video Transfer
- Public Safety Applications
- Connected Homes
- Connected Cars
- Connected “things”



Data Demand Forecast -- 2016 Cisco Visual Networking Index

This justification identifies the **key areas** driving the need for new wireless capacity provided by new infrastructure. Without **new wireless capacity deployed as a coverage solution** for these key areas, wireless users compete for inadequate wireless resources resulting in poor performance.

Technology Overview

Technology: 4G LTE-Advanced

Operating Frequency Capability: 700MHz, 800MHz, 1900MHz, 2100MHz, 2500 MHz LTE Frequency Bands

Channel Bandwidth Capacity: starting at 20MHz with growth capability > 10 times

- Virtual high capacity channel bandwidth through 4G LTE-Advanced Carrier Aggregation
- Advanced Multiple Input Multiple Output (MIMO) technology to be deployed



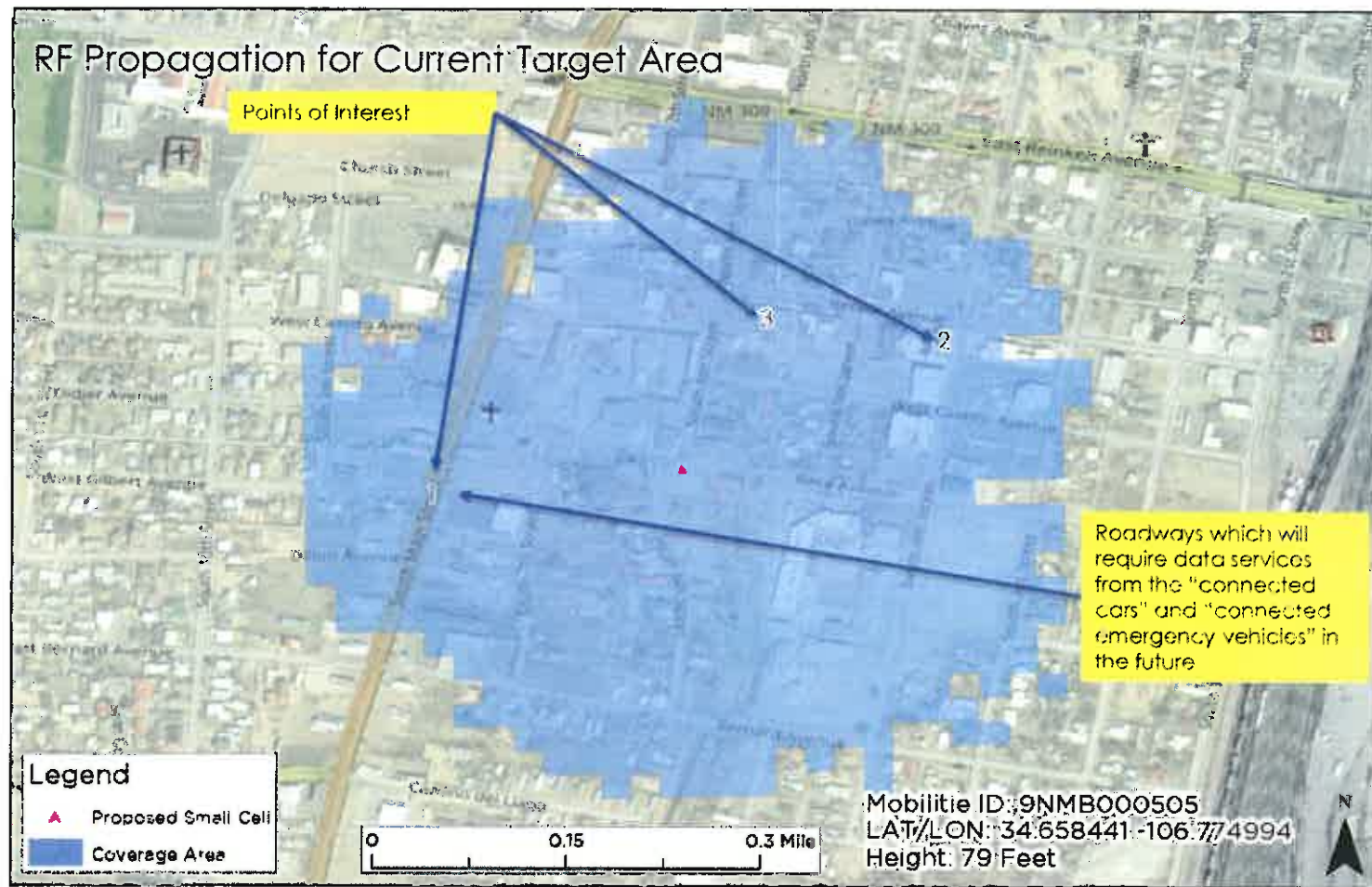
Significant Landmarks served by Site:

1. Main Street
2. First Baptist Church
3. Belen Municipal Court

*Landmarks listed are for example purposes only



Service Layer Credits Sources: Esri, HERE, DeLorme, USGS, Intermap,



Significant Landmarks served by Site:

1. Main Street
2. First Baptist Church
3. Belen Municipal Court

*Landmarks listed are for example purposes only

Service Layer Credits: ©
OpenStreetMap (and) contributors,

Conclusion

Unlike the majority of new wireless facilities, the purpose of our proposed site is not to increase coverage or fill coverage gap. The need for our wireless facility is to increase the data capacity of the existing network as it currently exists today. With the abundant increase of smart phone usage in the last few years, users are experiencing a lack of connectivity and data slowdowns, specifically in the Point of Interest areas noted in our propagation map, included herein. What we are seeing is an increased saturation of data consumption in these particular areas causing stress to our network and diminishment of the user experience. By constructing our facility we will increase the capacity in this area and alleviate the network stress caused by increased user data usage and ultimately improve the overall experience.





Broadband Network of
New Mexico, LLC
2955 Red Hill Ave. Ste. 200
Costa Mesa, CA 92626
USA Tel: 657.261.3814
www.ITBUtility.com

March 3, 2017

City of Belen
c/o Lisa Miller
100 South Main Street
Belen, NM 87002

RE: EP90XS750A // Mobilitie's proposal for a new 70 ft. Wireless Facility installation

Ms. Miller,

Please accept this communication as an addition to our previously submitted Wireless Telecommunications Facility Application and confirmation we will attach one (1) 3 ft. Omni Multi-directional antenna to our proposed facility located near the southeast corner of South 6th Street and Baca Avenue.

Also, in a concerted effort to minimize visual impact, we will paint our equipment to match the color of our wood pole (brown).

Thank you very much for your consideration and review.

Please feel free to contact me with any additional questions or concerns.

Regards,

Kevin Winner
Mobilitie, LLC
Ph: (505) 690-3172
E-mail: Kevin.Winner@mobilitie.com

SITE ID-CANDIDATE LETTER/CASCADE ID-CANDIDATE LETTER:
9NMB000505/EP90XS750A

LATITUDE/LONGITUDE:
34.658441/-106.774994

CROSS STREET:
BACA AVE & S 6TH ST
CITY, STATE, ZIP:
BELEN, NM 87002



IF YOU DIG IN ANY STATE
DIAL 811 FOR THE LOCAL
"ONE CALL CENTER" -
IT'S THE LAW

THE UTILITIES SHOWN HEREIN ARE FOR THE CONTRACTOR'S
CONVENIENCE ONLY. THERE MAY BE OTHER UTILITIES NOT SHOWN
ON THESE PLANS. THE ENGINEER/SURVEYOR ASSUMES NO
RESPONSIBILITY FOR THE LOCATIONS SHOWN AND IT SHALL BE
THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL THE UTILITIES
WITHIN THE LIMITS OF THE WORK. ALL DAMAGE MADE TO THE (E)
UTILITIES BY THE CONTRACTOR SHALL BE THE SOLE
RESPONSIBILITY OF THE CONTRACTOR.

GENERAL NOTES

THE FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. A
TECHNICIAN WILL VISIT THE SITE AS REQUIRED FOR ROUTINE
MAINTENANCE. THE PROJECT WILL NOT RESULT IN ANY SIGNIFICANT
DISTURBANCE OF EFFECT ON DRAINAGE; NO SANITARY SEWER
SERVICE, POTABLE WATER OR TRASH DISPOSAL IS REQUIRED AND
NO COMMERCIAL SIGNAGE IS (N).

SITE INFORMATION

SITE ID:	9NMB000505
CASCADE ID:	EP90XS750A
LATITUDE:	34.658441
LONGITUDE:	-106.774994
CROSS STREET:	BACA AVE & S 6TH ST
CITY, STATE, ZIP:	BELEN, NM 87002
COUNTY:	VALENCIA COUNTY
JURISDICTION:	BELEN CITY
PROPERTY OWNER:	PUBLIC RIGHT-OF-WAY
APPLICANT:	BROADBAND NETWORK OF NEW MEXICO LLC 2955 RED HILL AVENUE, STE. 200 COSTA MESA, CA 92626 CONTACT: KEVIN WINNER PHONE: (505) 690-3172 EMAIL: kevin.winner@mobilitie.com

ENGINEER

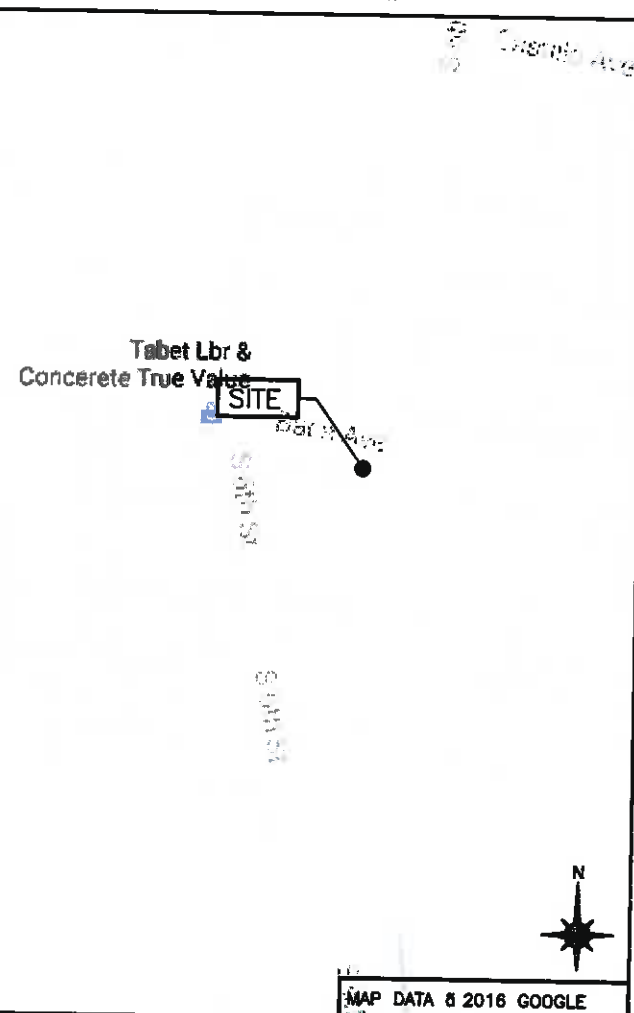
SURESITE CONSULTING GROUP, LLC
7535 E. HAMPDEN AVENUE, #400
DENVER, CO 80224
FOR QUESTIONS EMAIL: R.LAIRD@SURE-SITE.COM
TEL: (216) 593-0400 WEBSITE: SURE-SITE.COM

DO NOT SCALE DRAWINGS

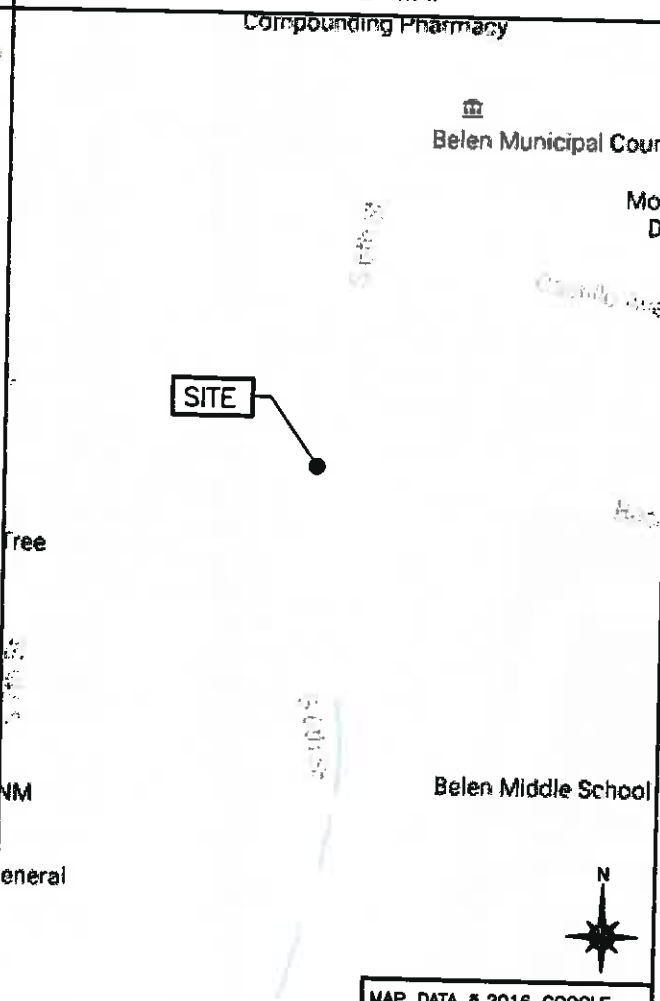
CONTRACTORS SHALL VERIFY ALL PLANS, (E) DIMENSIONS & FIELD
CONDITIONS ON THE JOB SITE & SHALL IMMEDIATELY NOTIFY THE
ARCHITECT/ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE
PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME.

LOCATION MAPS

VICINITY MAP



REGIONAL MAP



PROJECT DESCRIPTION

END USER PROPOSES TO INSTALL EQUIPMENT ON A NEW
CLASS 1 WOOD UTILITY POLE WITHIN AN EXISTING
RIGHT-OF-WAY.
THE SCOPE WILL CONSIST OF THE FOLLOWING:
- INSTALL A NEW CLASS 1 WOOD UTILITY POLE WITH
PROPOSED SMALL CELL EQUIPMENT

CODES

2015 INTERNATIONAL BUILDING CODE
2014 NATIONAL ELECTRICAL CODE
TIA/EIA-222-G-2 OR LATEST EDITION
LOCAL BUILDING/PLANNING CODE

DRAWING INDEX

SHEET NO:	SHEET TITLE
T-1	TITLE SHEET
LS-1	LAND SURVEY
SP-1	EXHIBIT PHOTO & SITE PLAN
EV-1	ELEVATIONS
PL-1	PLUMBING & RISER DIAGRAM
EQ-1	EQUIPMENT DETAILS
EQ-2	EQUIPMENT DETAILS
E-1	ELECTRICAL DETAILS
G-1	GROUNDING DETAILS
S-1	EMBEDMENT DETAILS
TC-1	VEHICULAR TRAFFIC CONTROL PLAN
TC-2	PEDESTRIAN TRAFFIC CONTROL PLAN
GN-1	GENERAL NOTES
GN-2	GENERAL NOTES
GN-3	GENERAL NOTES

BROADBAND NETWORK OF
NEW MEXICO, LLC



PROJECT NO: ER600201
DRAWN BY: RC
CHECKED BY: SJB

C	02.10.17	FOR REVIEW
B	02.02.17	UC INCORPORATED
A	11.15.16	FOR REVIEW

PRELIMINARY
NOT FOR CONSTRUCTION

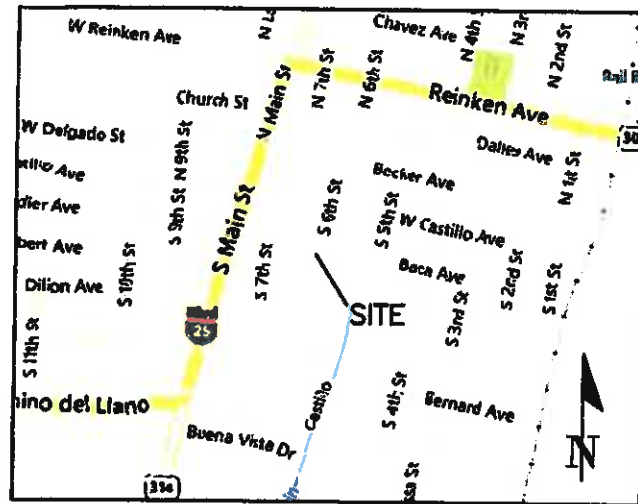
IT IS A VIOLATION OF THE LAW FOR ANY
PERSON, UNLESS THEY ARE ACTING UNDER THE
DIRECTION OF A LICENSED PROFESSIONAL
ENGINEER, TO ALTER THIS DOCUMENT

EP90XS750A
BELEN, NM 87002
PROPOSED 18'-0" WOOD POLE

SHEET TITLE
TITLE SHEET

SHEET NUMBER

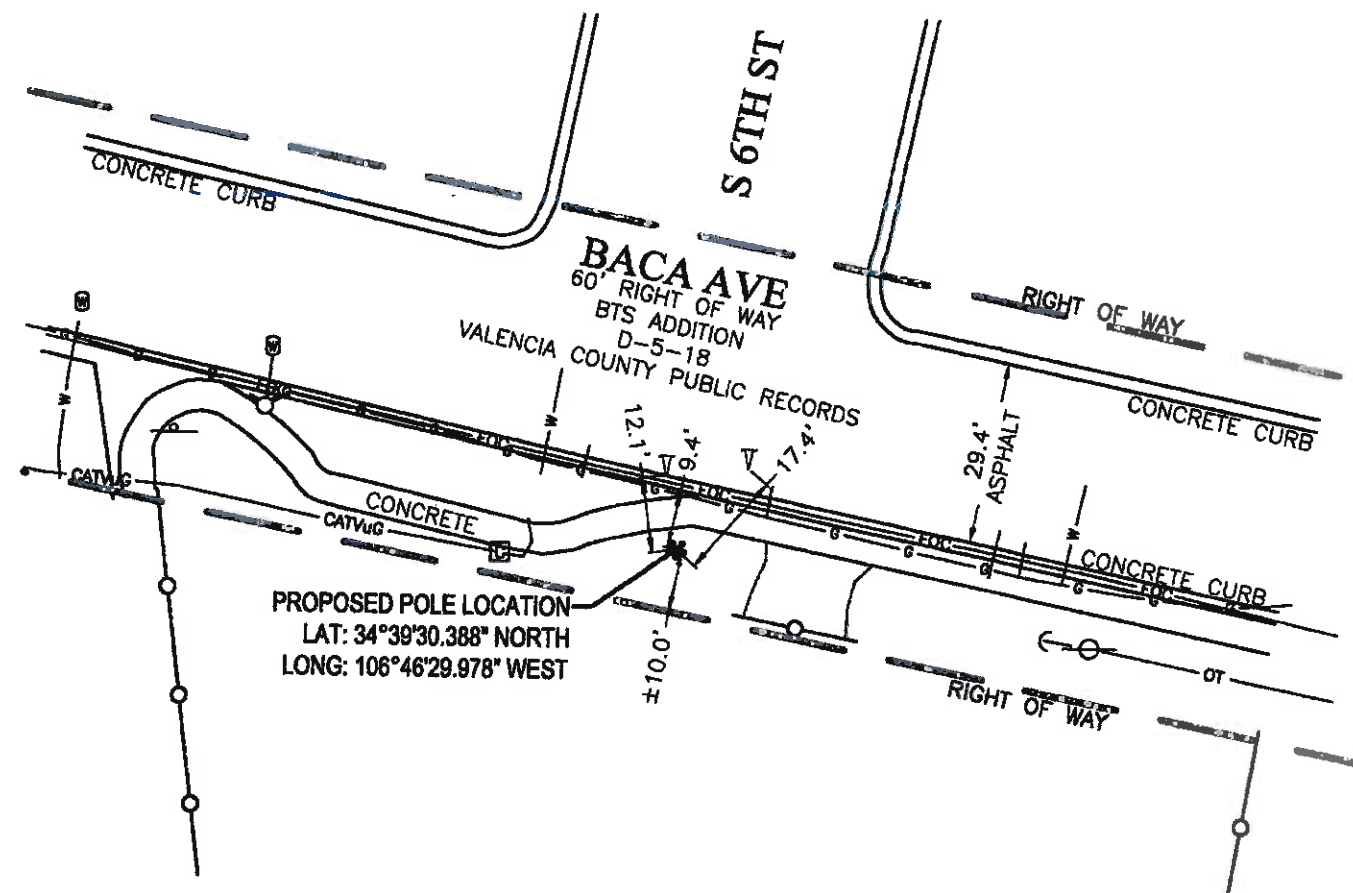
T-1



VICINITY MAP
(NOT TO SCALE)

LEGEND

	RIGHT OF WAY
	CHAIN LINK FENCE
	UNDERGROUND FIBER OPTIC
	WATER UTILITY
	OVERHEAD TELEPHONE
	GAS UTILITY
	UNDERGROUND CABLE TV
	WATER VALVE
	HYDRANT
	OTHER NAIL SET
	POLE
	GUY WIRE ANCHOR
	SERVICE BOX CABLE
	SIGN



NOTES:

THE PURPOSE OF THIS TOPOGRAPHIC MAP IS TO DOCUMENT THE HORIZONTAL AND VERTICAL POSITIONS OF THE PERMANENT FEATURES VISIBLE ON THE GROUND IN THE MAPPED AREA AS FOUND ON THE DATE OF SURVEY, DECEMBER 20, 2016.

THIS IS NOT A BOUNDARY SURVEY OR A RIGHT OF WAY SURVEY. APPARENT PROPERTY CORNERS, RIGHT OF WAY LINES, OR PROPERTY LINES AS SHOWN ARE DERIVED FROM RECORD SURVEY PLATS, RIGHT OF WAY MAPS, OR DEEDS REFERENCED HEREON AND ARE NOT GUARANTEED OR TO BE RELIED ON FOR THE ESTABLISHMENT OF PROPERTY LINES.

UNDERGROUND UTILITIES: SURFACE EVIDENCE OF UNDERGROUND UTILITIES WAS LOCATED BY SURVEYING AND MAPPING, LLC. (SAM, LLC) WHEN MARKED IMMEDIATELY PRIOR TO FIELD WORK. IT IS REQUIRED THAT THE POSITIONS OF UNDERGROUND UTILITIES BE VERIFIED PRIOR TO CONSTRUCTION. NO UTILITIES WERE DESIGNATED EXCEPT AS SHOWN HEREON.

THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE COMMITMENT. NO ABSTRACT EXAMINATION IS IMPLIED. INFORMATION SHOWN HEREON MAY BE SUBJECT TO EASEMENTS, RESTRICTIONS AND RESERVATIONS OF RECORD.

AT THE TIME OF SURVEY, THE PROPOSED POLE LOCATION APPEARS TO BE LOCATED WITHIN FLOOD HAZARD AREA ZONE AH AS DESIGNATED AND DELINEATED ON FEMA FLOOD INSURANCE RATE MAP COMMUNITY PANEL 35081C0395E (VALENCIA COUNTY, NEW MEXICO), WITH EFFECTIVE DATE OF AUGUST 19, 2010.



UTILITY LOCATE TICKET: #16NV220494
FOR UTILITY QUESTIONS: CONTACT NM811 AT 800-727-8809



4801 Southwest Parkway
Building Two, Suite 100
Austin, Texas, 78735
Ofc: 512.447.0575
Fax: 512.326.3029
email: info@sam.biz
NM Firm #4201240

CANDIDATE ID: EP90XS750A
SITE ID: 9NMB000505
ADDRESS: 600 BACA AVE, BELEN, NM

TOPOGRAPHIC SURVEY TO SUPPORT LOCATION OF A TELECOMMUNICATION STRUCTURE

PROJECT: MOBILITE
1016038723

SHEET 1
OF 1



EXHIBIT PHOTO

SCALE: NOT TO SCALE

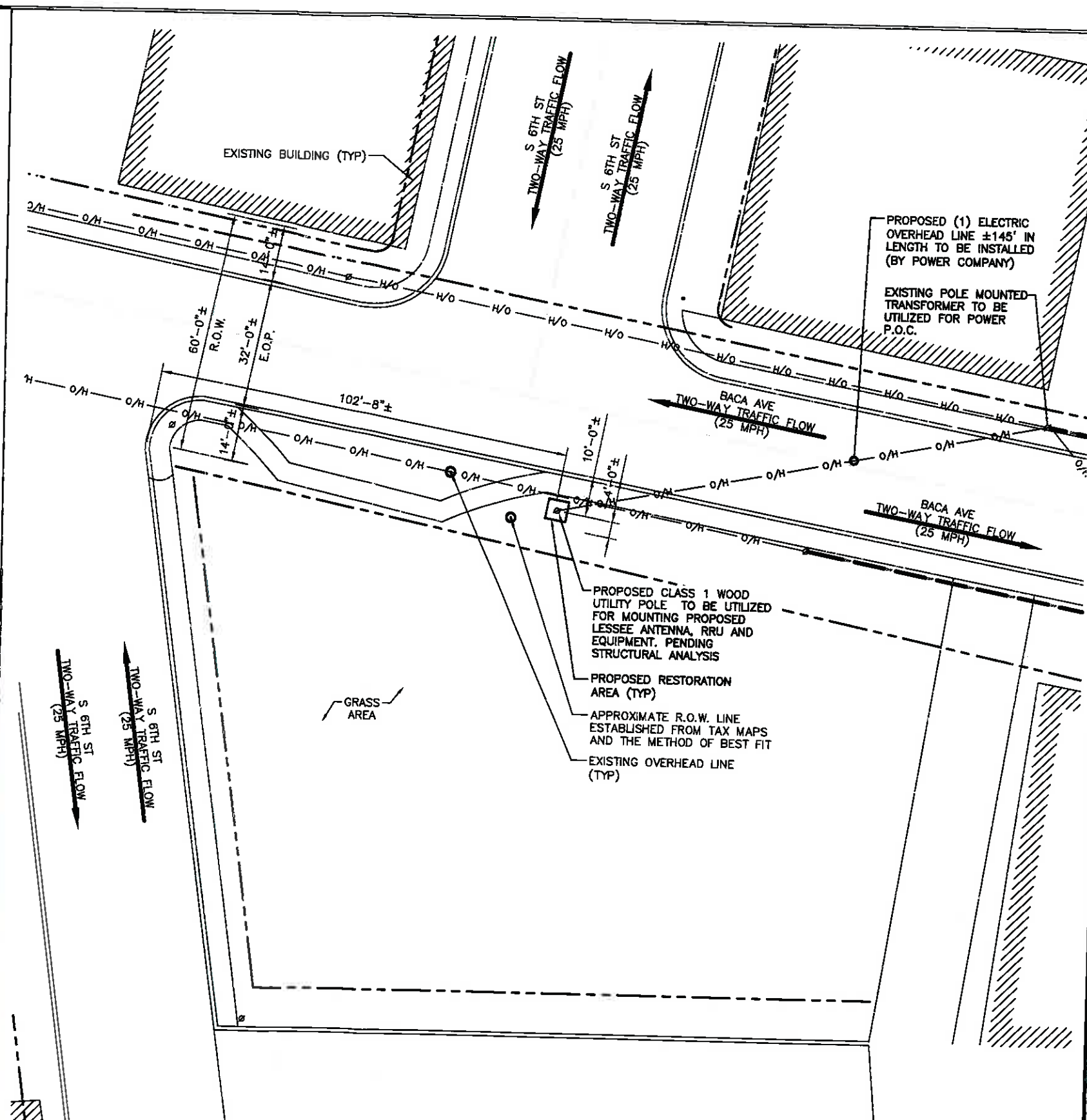
1



AERIAL SITE LOCATION

SCALE: NOT TO SCALE

2



NOTE:

SITE PLAN VERIFIED WITH SAM SURVEY # 1016036723 DATED 12/28/16



NOTE:
ALL DAMAGED AREAS SHALL BE RESTORED
TO EQUAL OR BETTER CONDITION.

ENLARGED SITE PLAN

SCALE: 1" = 30'-0" (1" = 15'-0" ON 22"x34" SHEET)

**BROADBAND NETWORK OF
NEW MEXICO, LLC**



PROJECT NO:	ER600201
DRAWN BY:	RC
CHECKED BY:	SJB

C	02.10.17	FOR REVIEW
B	02.02.17	UC INCORPORATED
A	11.15.16	FOR REVIEW

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EP90XS750A
BELEN, NM 87002
PROPOSED 79'-0" WOOD POLE

SHEET TITLE

EXHIBIT PHOTO & SITE PLAN

SHEET NUMBER

SP-1

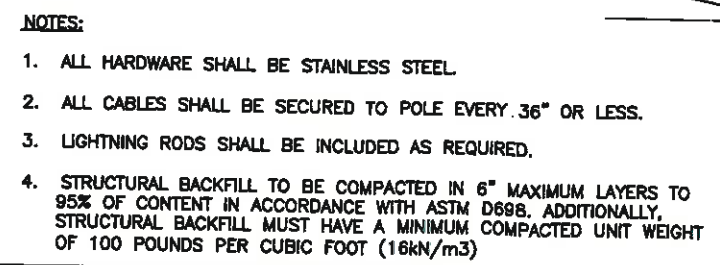


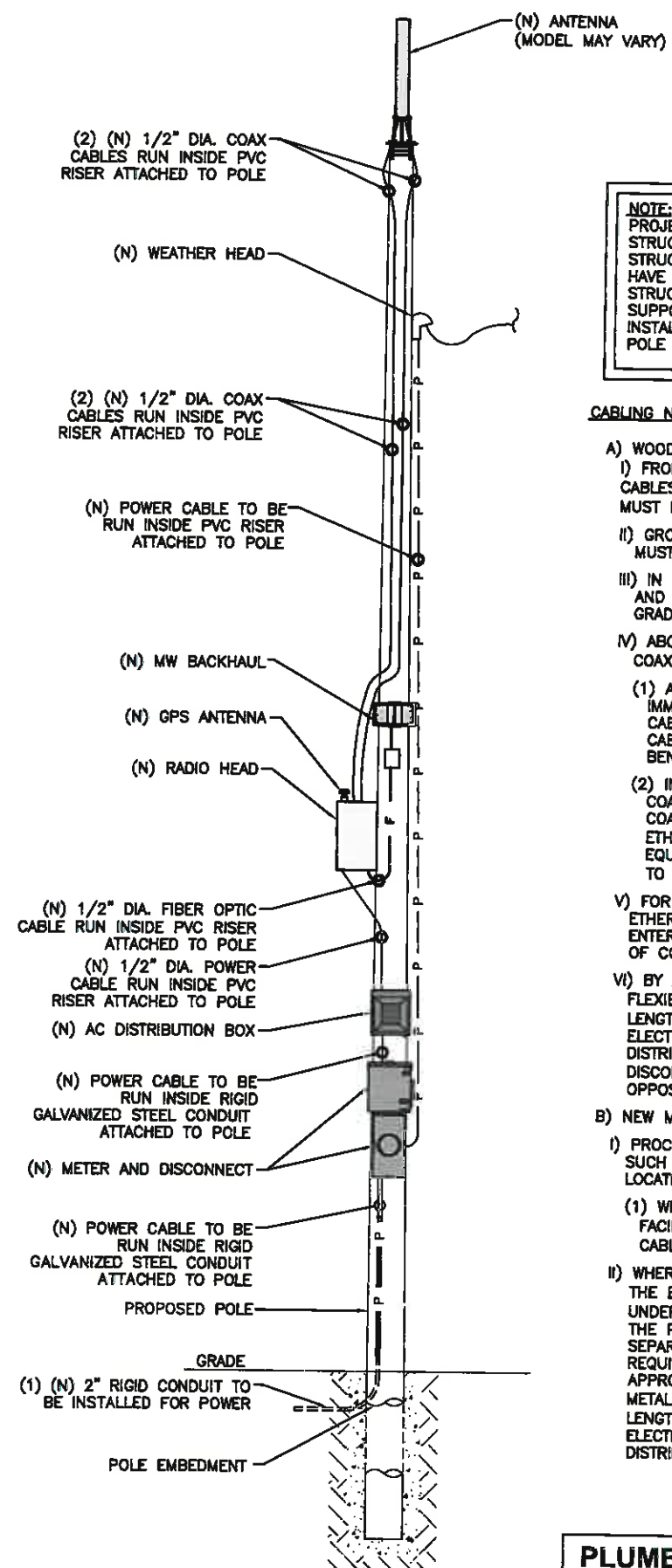
SURESITE

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SHEET NUMBER
EV-1





NOTE:
CABLING DIAGRAM IS FOR CLARITY OF
CABLE ROUTE AND TERMINATION ONLY.
CONTRACTOR SHALL INSTALL CABLES
WITH MINIMAL VISUAL IMPACT ON
PROPOSED CLASS 1 WOOD UTILITY POLE.
SEE ELEVATION DRAWING FOR EQUIPMENT
AND ANTENNA LOCATIONS.

NOTE:
PROJECT SCOPE OF WORK DOES NOT INCLUDE A
STRUCTURAL EVALUATION OF THIS POLE OR
STRUCTURE. NEW EQUIPMENT SHOWN ON THIS PLAN
HAVE NOT BEEN EVALUATED TO VERIFY THE POLE OR
STRUCTURE HAS THE CAPACITY TO ADEQUATELY
SUPPORT THE EQUIPMENT. PRIOR TO ANY
INSTALLATION, A STRUCTURAL EVALUATION OF THE
POLE OR STRUCTURE SHOULD BE PERFORMED.

CABLING NOTES:

- A) WOOD, CONCRETE AND EXISTING METALLIC POLES
I) FROM GRADE LINE TO 11'-0" ABOVE GRADE, ALL
CABLES/CONDUCTORS EXCEPT GROUNDING CONDUCTOR
MUST RUN IN RIGID GALVANIZED STEEL CONDUIT (RGS)
II) GROUNDING CONDUCTORS IN EXPOSED LOCATIONS
MUST BE INSTALLED IN PVC.
III) IN EARTH INSTALL PVC CONDUIT FOR BACKHAUL
AND ELECTRICAL SERVICE. TRANSITION TO RGS AT
GRADE LINE.
IV) ABOVE 11'-0" ALL CABLES (POWER, ETHERNET,
COAXIAL) MUST RUN IN PVC UTILITY POLE RISER.
(1) AT MAJOR EQUIPMENT, EXTEND UTILITY DUCT
IMMEDIATELY ADJACENT TO THE EQUIPMENT, INSTALL
CABLES IN THE UTILITY POLE RISER CREATING
CABLE DRIP LOOPS NOT LESS THAN THE CABLE
BENDING RADIUS.
(2) INSIDE THE UTILITY POLE RISER, UTILIZE 1/2"
COAX BLOCKS WITH LAG SCREWS TO SUPPORT
COAX, RADIO AND MW POWER, RF COAX, AND
ETHERNET CABLES TO WITHIN 12" OF THE
EQUIPMENT BEING SERVED AND ON INTERVALS NOT
TO EXCEED 6".
V) FOR UNDERGROUND HFC/PUBLIC BACKHAUL, ROUTE
ETHERNET CABLE IN CONDUIT UP THE POLE AND
ENTER THE UTILITY POLE RISER. SEAL EXPOSED END
OF CONDUIT WITH A CABLE TERMINATION FITTING.
VI) BY APPROVAL IN SELECT CASES LIQUID-TIGHT
FLEXIBLE METALLIC CONDUIT (LFMC) MAY BE USED IN
LENGTHS NOT TO EXCEED 36" TO EXTEND THE
ELECTRICAL SERVICE CONDUIT TO THE AC
DISTRIBUTION BOX. EXAMPLE: UTILITY-REQUIRED
DISCONNECT ON POLE W/ AC DISTRIBUTION BOX ON
OPPOSITE SIDE OF POLE.
B) NEW METALLIC POLES
I) PROCURE NEW POLES WITH SUITABLE HAND HOLES
SUCH THAT HAND HOLES EXIST AT ALL EQUIPMENT
LOCATIONS.
(1) WITH CLIENT APPROVAL IN SELECT CASES TO
FACILITATE IMPROVED APPEARANCE, 1/2" COAXIAL
CABLES MAY BE "SUPERFLEX" IN LIEU OF LDF-4.
II) WHERE POSSIBLE, INSTALL POLE BASE SUCH THAT
THE ELECTRICAL FEED AND BACKHAUL (IF
UNDERGROUND) CIRCUIT ENTER THE POLE THROUGH
THE POLE BASE. IF A DISCONNECTING MEANS
SEPARATE FROM THE AC DISTRIBUTION BOX IS
REQUIRED BY JURISDICTION OR UTILITY, WITH
APPROVAL IN SELECT CASES LIQUID-TIGHT FLEXIBLE
METALLIC CONDUIT (LFMC) MAY BE USED IN
LENGTHS NOT TO EXCEED 36" TO EXTEND THE
ELECTRICAL SERVICE CONDUIT TO THE AC
DISTRIBUTION BOX.

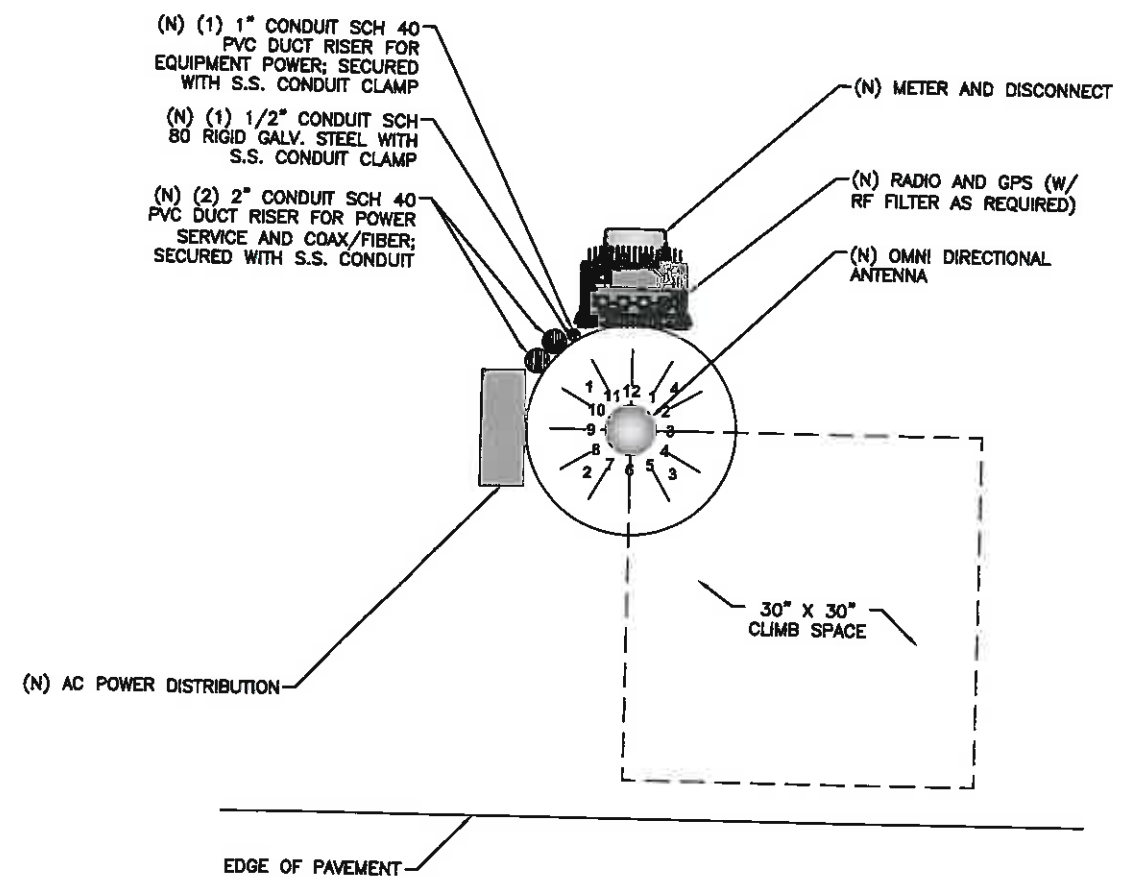
PLUMBING DIAGRAM

SCALE: NOT TO SCALE

BAND 41 (2500MHz) EQUIPMENT CHART					
QTY.	DESCRIPTION	MANUFACTURER	MODEL NUMBER	CABLE LENGTH	DIMENSIONS (HxWxD)
1	MOUNTED ANTENNA	ALPHA WIRELESS	AW3477-S	65'-0"±	29.5" X 4.5" DIAMETER
1	MW	FASTBACK	IBR-1300		8" X 10" X 4"
1	POE	FASTBACK	IBR-AC-POE	1'-0"	1.5" X 3" X 4.9"
1	GPS ANTENNA	NOKIA	FAWD/ 472932A	-	3.1" X 2.4" DIAMETER
1	RADIO (W/ FILTER AS REQUIRED)	NOKIA	FWHT B41 LP	4'-6"±	9.7" X 12.8" X 4.7"
1	AC DISTRIBUTION	RAYCAP	RSTAC-3111-P-120	1"±	13.13" X 11.38" X 4.38"
1	DISCONNECT	TBD	TYPE-3R	1'±	9.9" X 8.8" X 4.5"
1	METER	MILBANK	U4801-XL-5T9	XX'±	19" X 13" X 4.84"

BILL OF MATERIALS

SCALE: NOT TO SCALE



30" X 30"
CLIMB SPACE

RISER DIAGRAM

SCALE: NOT TO SCALE

BROADBAND NETWORK OF
NEW MEXICO, LLC



PROJECT NO: ER600201
DRAWN BY: RC
CHECKED BY: SJB

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A	11.15.16	FOR REVIEW

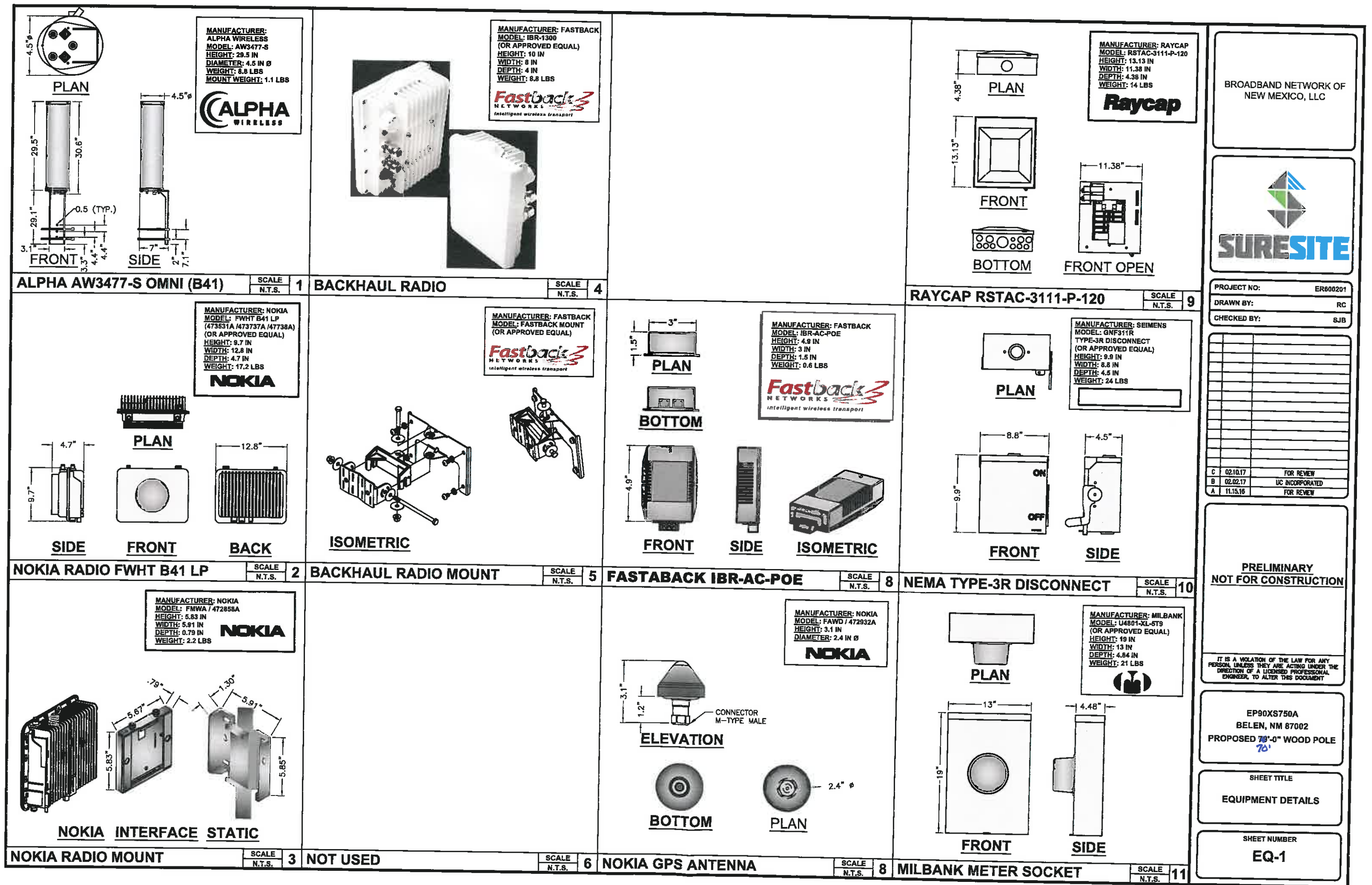
PRELIMINARY
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ENGINEER, TO ALTER THIS DOCUMENT

EP90XS750A
BELEN, NM 87002
PROPOSED 89'-0" WOOD POLE
70'

SHEET TITLE
PLUMBING & RISER DIAGRAM

SHEET NUMBER
PL-1



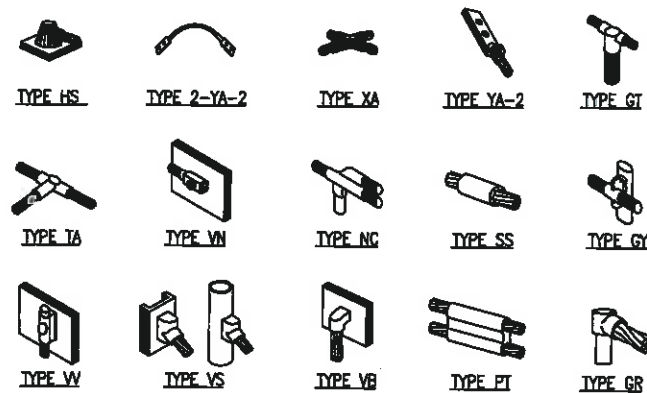
#6 THHN/THWN GREEN
STRANDED FROM EQUIPMENT TO
MAIN GROUND CONDUCTOR, TYP.

THIN WALL C-TAP WITH
GREEN DYE INDEX

#6 SOLID TIN COATED MAIN
GROUND CONDUCTOR

SCALE: NOT TO SCALE

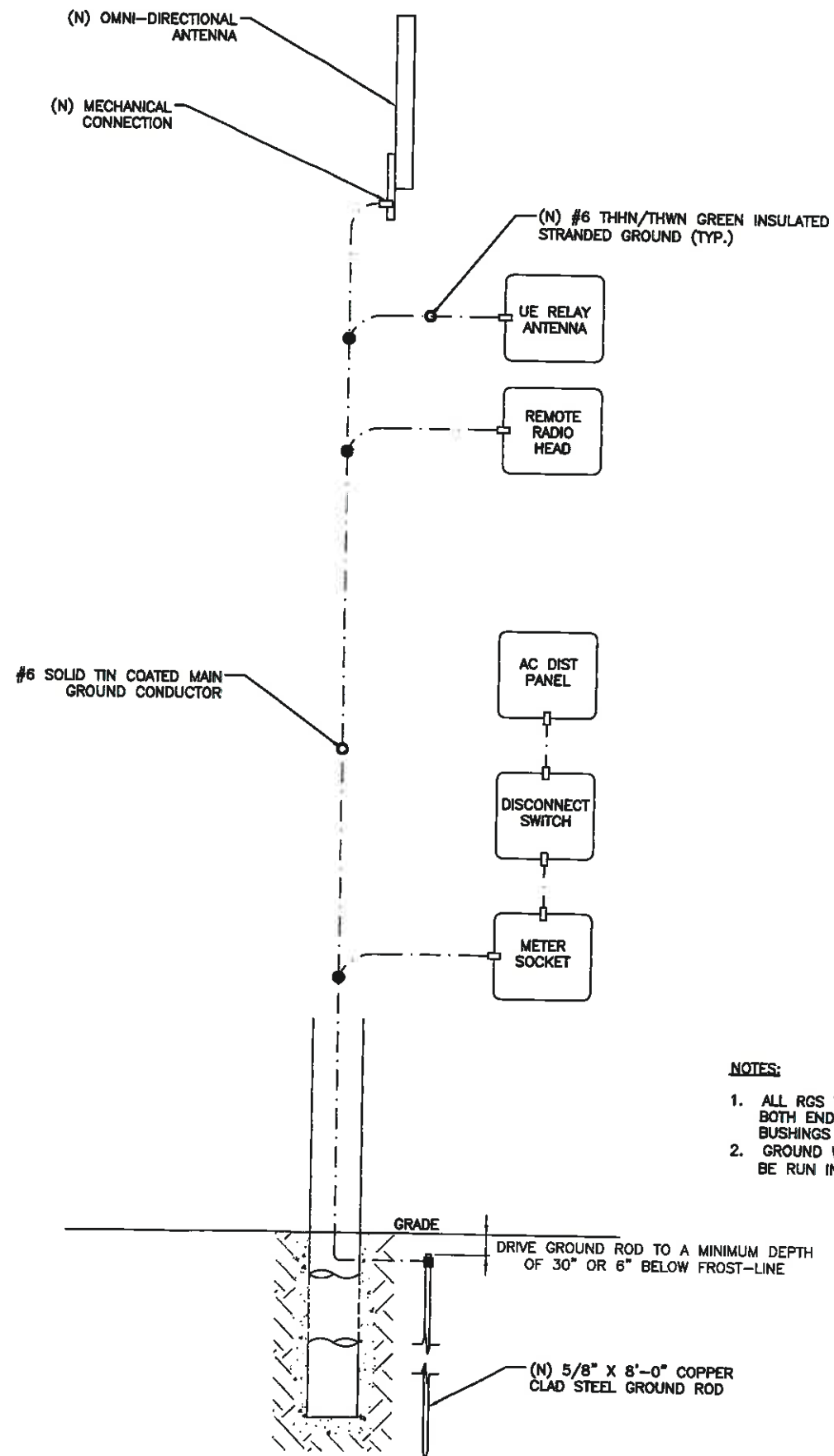
1



ERICO EXOTHERMIC "MOLD TYPES" SHOWN HERE ARE EXAMPLES.
CONSULT WITH PROJECT MANAGER FOR SPECIFIC MOLDS TO BE
USED FOR THIS PROJECT.

SCALE: NOT TO SCALE

2



SCALE: NOT TO SCALE

3

NOTE:
GROUNDING RISER FOR DIAGRAMMATIC
PURPOSES ONLY. SEE ELEVATION DRAWING
FOR EQUIPMENT AND ANTENNA LOCATIONS.



PROJECT NO:	ER600201
DRAWN BY:	RC
CHECKED BY:	SJB

C	02.10.17	FOR REVIEW
B	02.02.17	UC INCORPORATED
A	11.15.16	FOR REVIEW

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EP90XS750A
BELEN, NM 87002
PROPOSED 70'-0" WOOD POLE

SHEET TITLE

GROUNDING DETAILS

SHEET NUMBER

G-1

1. PRIOR TO ANY CONSTRUCTION WORK, CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES. ALL UTILITIES SHALL BE MARKED.
2. BACKFILL OF POLE SHALL BE PERFORMED IN ONE OF TWO OPTIONS:
 - A. PREFERRED: RAINBOW INDUSTRIES POLE SETTING FOAM SHALL BE INSTALLED PER MANUFACTURER SPECS. FOAM SHALL ALWAYS BE USED FOR POOR SOILS. RAINBOW FOAM CANNOT BE USED IN HIGH WATER TABLE ENVIRONMENTS UNLESS THE HOLE IS DEWATERED TO GUARANTEE LESS THAN 2 INCH DEPTH OF WATER.
 - B. SECONDARY: CONCRETE (REQUIRES MOBILITE CM WRITTEN APPROVAL)
ALLOWABLE SOIL PRESSURE = 2000 PSF (ASSUMED).
NON-NATIVE SOILS SHALL BE REMOVED FROM BORE AREA AND SHALL NOT BE REUSED FOR BACKFILL.
 - a. DRILLED SHAFTS SHALL BE FILLED WITH CLASS B-2 CONCRETE. AN AIR ENTRAINMENT ADMIXTURE SHALL BE USED. IN ADDITION A HIGH RANGE WATER-REDUCING ADMIXTURE MAY BE USED TO INCREASE THE SLUMP TO A MAXIMUM OF 9 INCHES \pm 1 INCH. IF USED, THE WATER-REDUCING ADMIXTURE SHALL BE ADDED ONLY AFTER THE CONCRETE HAS REACHED THE JOB SITE TO REDUCE THE POTENTIAL FOR FLASH SETTING. THE CONCRETE MIX SHALL BE DENSE, HOMOGENEOUS, FLUID AND RESISTANT TO SEGREGATION, AND SHALL CONSOLIDATE UNDER SELF-WEIGHT. THE CONCRETE MIX SHALL HAVE A SET TIME THAT ENSURES THAT FLUIDITY IS MAINTAINED THROUGHOUT THE SHAFT CONCRETE PLACEMENT AND REMOVAL OF TEMPORARY CASING. IF USED, A CONCRETE RETARDER IN ACCORDANCE WITH AASHTO M 194, TYPE B, MAY BE INCORPORATED INTO THE MIX TO RETARD SET APPROXIMATELY TWO HOURS.
 - b. IN SITUATIONS WITH EXCESSIVE GROUND WATER OR FOUNDATION FLOODING ALL CONCRETE SHALL BE PLACED USING THE TREMIE METHOD. CONCRETE MIX DESIGN SHALL FOLLOW ACI 211.1 GUIDELINES. CONTRACTOR SHALL ENSURE THAT THE DRILLED SHAFT HAS SUFFICIENT WORKING ACCESS FOR CONCRETE PLACEMENT COMMENCING AT THE BASE OF THE SHAFT AND SHALL BE PLACED IN A SLOW AND STEADY RATE. CONCRETE SHALL NOT BE PERMITTED TO FALL INTO THE SHAFT.
 - c. CONCRETE MIX ALONG WITH APPROVED ACCELERATORS SHALL BE DESIGNED TO PROVIDE AN INITIAL COMPRESSIVE STRENGTH OF 3,000 PSF WITHIN 6HRS AND A 28 DAY COMPRESSIVE STRENGTH OF 5,000 PSF. CONTRACTOR SHALL PROVIDE THE ENGINEER WITH A DETAILED CONCRETE MIX DESIGN FROM THE CONCRETE PLANT INCLUDING ALL PROPOSED ADDITIVES. A SUITABLE STRENGTH RAPID HARDENING ADMIXTURE IS SIKA RAPID-1. THIS ADDITIVE MIGHT NOT BE SUITABLE FOR ALL CIRCUMSTANCES AND ANY PRODUCT SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL.
3. EMBED DEPTHS SHOWN ARE GENERALLY FOR GOOD SOILS AND CLASS 4 POLES. EMBED DEPTHS SHALL BE ADJUSTED BASED ON ACTUAL SOIL CONDITIONS AND FINAL POLE CLASS SELECTION. POOR SOILS WILL REQUIRE DEEPER EMBEDS. SOIL CONDITIONS ARE CLASSIFIED ACCORDING TO BEARING CAPACITY: POOR? 0 TO 2,500 PSF, AVERAGE? 2,501 PSF TO 8,000 PSF, GOOD? GREATER THAN 8,000 PSF. GUYING IS AN OPTION FOR REDUCING EMBED DEPTHS BUT REQUIRES MOBILITE CM WRITTEN APPROVAL.
4. FOUNDATION HOLE SHALL BE EXCAVATED TO A MINIMUM OF 12" LARGER THAN POLE BASE DIAMETER TO ALLOW FOR SUITABLE BACKFILL PLACEMENT.
5. REMOVE EXCESS WATER FROM HOLE BEFORE INSTALLING POLE.
6. CONTRACTOR SHALL PREPARE LIFT PLANS FOR POLE SETTING ACTIVITIES WITH A BOOM TRUCK OR CRANE. ATTACH LIFTING SLING PER POLE MANUFACTURER RECOMMENDATIONS.
7. IF REQUIRED BY MOBILITE CM, CONTRACTOR SHALL PERFORM A TAPE DROP MEASUREMENT OF EXCAVATED HOLE AND WITNESS DROP WITH PHOTOGRAPHS.

(N) CLASS 1 WOOD UTILITY POLE (OVERALL POLE LENGTH 80'-0")

GRADE

(N) POLE EMBEDMENT

CONTRACTOR TO BACKFILL PER REQUIREMENTS (SEE NOTES)

AS PER STRUCTURAL EMBEDMENT MATRIX OR ASSOCIATED STRUCTURAL ANALYSIS REPORT

POLE HEIGHT ABOVE GROUND	DIAMETER SIX FEET FROM BUTT	MIN. CIRC. SIX FEET FROM BUTT
30'-0"	11.6"	36.5"
35'-0"	12.4"	39.0"
40'-0"	13.1"	41.0"
45'-0"	13.7"	43.0"
50'-0"	14.3"	45.0"
55'-0"	14.8"	46.5"
60'-0"	15.3"	48.0"
65'-0"	15.8"	49.5"
70'-0"	16.2"	51.0"
75'-0"	16.7"	52.5"
80'-0"	17.2"	54.0"

NOTE:
FOR POLE HEIGHTS BETWEEN TWO
VALUES, SELECT THE HIGHER POLE
ON TABLE.

APPROX. POLE HEIGHT ABOVE GROUND	MINIMUM EMBED IN FEET & INCHES	MINIMUM EMBED IN DECIM. FEET
24'-8"	5'-6"	5.5
29'-0"	6'-0"	6.0
33'-6"	6'-6"	6.5
38'-6"	6'-6"	6.5
43'-0"	7'-0"	7.0
47'-6"	7'-8"	7.5
52'-0"	8'-0"	8.0
56'-6"	8'-6"	8.5
61'-0"	9'-0"	9.0
65'-6"	9'-6"	9.5
70'-0"	10'-0"	10.0
74'-6"	10'-6"	10.5
79'-0"	11'-0"	11.0

NOTE:
FOR POLE HEIGHTS BETWEEN TWO
VALUES, SELECT THE HIGHER POLE
ON TABLE.



SURESITE

PROJECT NO:	ER600201
DRAWN BY:	RC
CHECKED BY:	SJB

C	02.10.17	FOR REVIEW
B	02.02.17	UC INCORPORATED
A	11.15.16	FOR REVIEW

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EP90XS750A
BELEN, NM 87002
PROPOSED 75'-0" WOOD POLE
70'

SHEET TITLE

POLE EMBEDMENT DETAILS

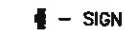
SHEET NUMBER

S-1

POLE EMBEDMENT DETAILS

SCALE: NOT TO SCALE

1. PLANS DEPICTED ARE GENERAL GUIDELINES FOR TEMPORARY VEHICULAR TRAFFIC CONTROL PLANS (TCP) TO INCLUDE PEDESTRIAN AND WORKER SAFETY. CONTRACTOR IS REQUIRED TO HAVE PREPARED A SITE-SPECIFIC TCP FOR REVIEW AND APPROVAL BY THE HIGHWAY AUTHORITY HAVING JURISDICTION. IF REQUIRED, THE FIRM PREPARING THE TCP SHALL BE AUTHORIZED OR CERTIFIED BY THE AUTHORITY HAVING JURISDICTION.
2. EXTEND CHANNELIZATION DEVICES INTO SHOULDER WHERE APPLICABLE.
3. DISTANCES AS INDICATED IN TABLE 1 SHOULD BE INCREASED FOR CONDITIONS THAT WOULD AFFECT STOPPING. DISTANCE SUCH AS DOWNGRADES OR LIMITED SIGHT DISTANCES. DISTANCES CAN BE DECREASED FOR LOW-SPEED (RESIDENTIAL) AREAS WITH APPROVAL BY THE AUTHORITY HAVING JURISDICTION. NIGHT-TIME WORK IS PROHIBITED UNLESS IT IS REQUIRED AS A CONDITION OF APPROVAL BY THE HIGHWAY AND LOCAL AUTHORITY HAVING JURISDICTION.
4. SHOULDER TAPERS SHOULD BE 1/3 OF THE ON-STREET TAPER LENGTH.
5. MAINTAIN A MINIMUM LANE WIDTH OF 10'.



NOTES:

- | |
|-------------------------------------------------------------------------------------------------------------------------------------|
| A) DISTANCES IN FEET UNLESS OTHERWISE NOTED. |
| B) CONTRACTOR TO VERIFY (E) SPEED LIMIT. |
| C) DISTANCES SHOWN ARE NOT VALID FOR LIMITED ACCESS HIGHWAYS. CONSULT STATE DOT MANUAL FOR DISTANCES. |
| D) ADJUST DISTANCES TO COMPLY WITH REQUIREMENT OF THE STATE OR LOCAL HIGHWAY AUTHORITY HAVING JURISDICTION. SEE NOTE 1, SHEET TC-2. |
| E) TAPER LENGTHS SHOWN BASED ON 12' LANE WIDTH. SEE NOTE 18, SHEET TC-2. |

SCALE: NOT TO SCALE



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EP90XS750A
BELEN, NM 87002
PROPOSED 70'-0" WOOD POLE
To

SHEET TITLE

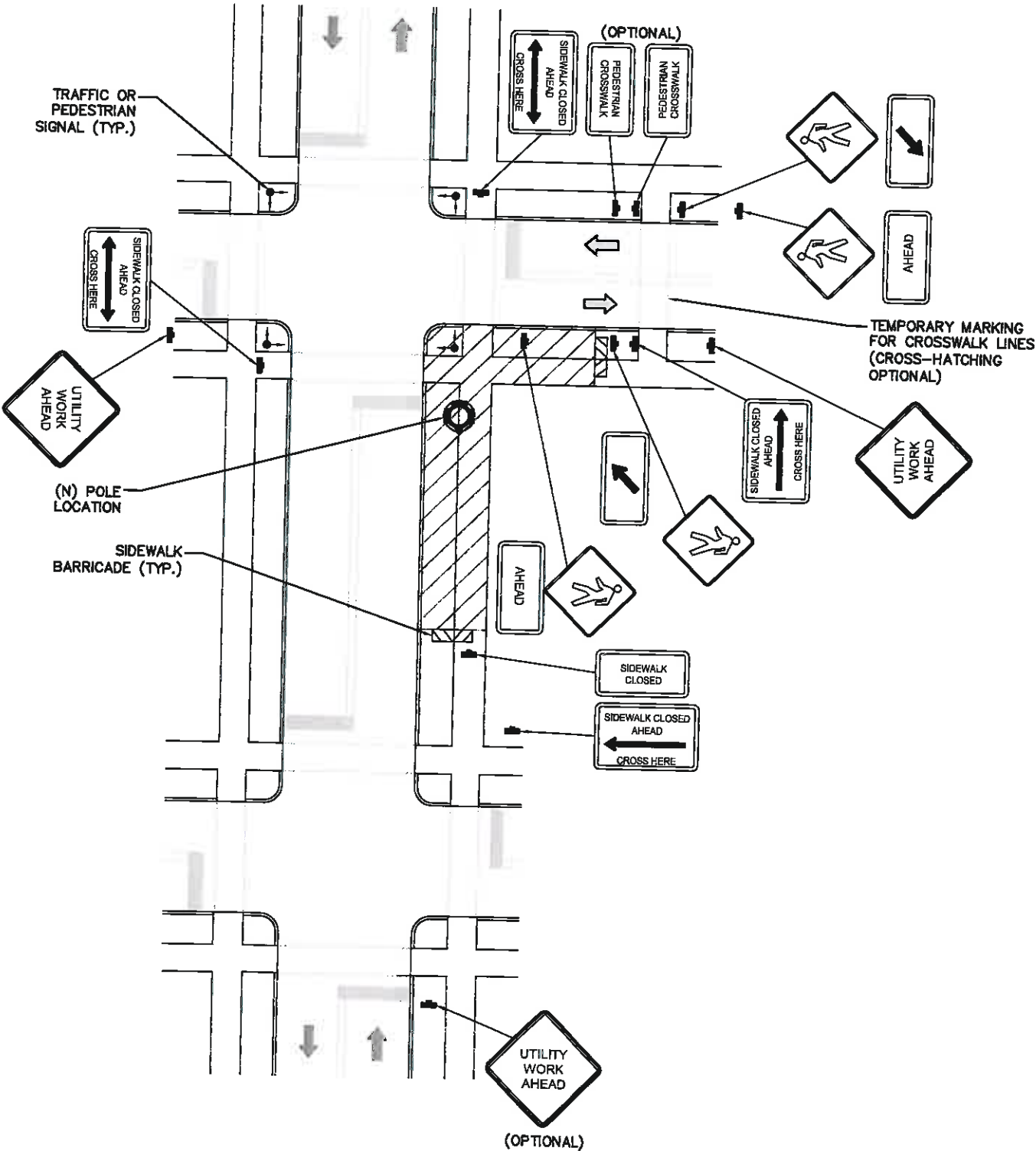
VEHICULAR TRAFFIC CONTROL PLAN

SHEET NUMBER

TC-1

TRAFFIC CONTROL GENERAL NOTES

1. ALL TEMPORARY TRAFFIC CONTROL SIGNAGE, LAYOUTS AND PROCEDURES SHALL COMPLY WITH LOCAL JURISDICTIONAL REQUIREMENTS AND MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST EDITION, WHICHEVER IS MORE STRINGENT.
2. PRIOR TO ANY ROAD CONSTRUCTION, TRAFFIC CONTROL SIGNS AND DEVICES SHALL BE IN PLACE.
3. TRAFFIC CONTROL DEVICES FOR LANE CLOSURES INCLUDING SIGNS, CONES, BARRICADES, ETC. SHALL BE PLACED AS SHOWN ON PLANS. SIGNS SHALL NOT BE PLACED WITHOUT ACTUAL LANE CLOSURES AND SHALL BE IMMEDIATELY REMOVED UPON REMOVAL OF THE CLOSURES.
4. SELECTION, PLACEMENT, MAINTENANCE, AND PROTECTION OF TRAFFIC, PEDESTRIANS, AND WORKERS SHALL BE IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) - PART VI "TEMPORARY TRAFFIC CONTROL", AND LOCAL JURISDICTIONAL REQUIREMENTS UNLESS OTHERWISE NOTED IN THE PLANS AND SPECIFICATIONS, AND SHALL BE APPROVED BY THE APPROPRIATE HIGHWAY AUTHORITY HAVING JURISDICTION.
5. ADVANCE WARNING SIGNS, DISTANCES, AND TAPER LENGTHS MAY BE EXTENDED TO ADJUST FOR REDUCED VISIBILITY DUE TO HORIZONTAL AND VERTICAL CURVATURE OF THE ROADWAY AND FOR ACTUAL TRAFFIC SPEEDS IF IN EXCESS OF POSTED SPEED LIMITS.
6. TAPERS SHALL BE LOCATED TO MAXIMIZE THE VISIBILITY OF THEIR TOTAL LENGTH.
7. CONFLICTING OR NON-OPERATING SIGNAL INDICATIONS ON THE (E) TRAFFIC SIGNAL SYSTEMS SHALL BE BAGGED OR COVERED.
8. ALL (E) ROAD SIGNS, PAVEMENT MARKINGS AND/OR PLOWABLE PAVEMENT REFLECTORS WHICH CONFLICT WITH THE (N) TRAFFIC CONTROL PLAN SHALL BE COVERED, REMOVED, OR RELOCATED. ALL TRAFFIC CONTROL DEVICES SHALL BE RESTORED TO MATCH PRE-CONSTRUCTION CONDITION AFTER COMPLETION OF WORK.
9. CONTRACTOR SHALL CONTACT LOCAL AUTHORITY HAVING HIGHWAY JURISDICTION AND PROVIDE ADDITIONAL "FLAGMEN" OR POLICE SUPERVISION, IF REQUIRED.
10. ALL EXCAVATED AREAS WITHIN OR ADJACENT TO THE ROADWAY SHALL BE BACKFILLED AND PLACED ON A MINIMUM 6H:1V SLOPE PRIOR TO END OF EACH WORK DAY. OTHER EXCAVATED AREAS WITHIN THE CLEAR ZONE ARE TO BE EITHER BACKFILLED OR PRECAST CONCRETE CURB BARRIER CONSTRUCTION BARRIER SET TEMPORARILY IN PLACE TO SHIELD VEHICULAR AND PEDESTRIAN TRAFFIC.
11. WHERE DICTATED BY LOCAL CONDITIONS, THE CONTRACTOR SHALL MAKE PROVISIONS FOR MAINTAINING PEDESTRIAN AND WORKER CROSSING LOCATIONS IN ACCORDANCE WITH ALL APPLICABLE CODES AND OSHA REQUIREMENTS.
12. CONSTRUCTION ZONE SPEED LIMIT IF REDUCED FROM POSTED LIMITS SHALL BE IN ACCORDANCE WITH MUTCD AND WILL BE DETERMINED BY THE AUTHORITY HAVING JURISDICTION.
13. THERE SHALL BE NO WORKERS, EQUIPMENT, OR OTHER VEHICLES IN THE BUFFER SPACE OR THE ROLL AHEAD SPACE.
14. DRIVEWAYS AND/OR SIDE STREETS ENTERING THE ROADWAY AFTER THE FIRST ADVANCE WARNING SIGN SHALL BE PROVIDED WITH AT LEAST ONE W20-1 SIGN (ROAD WORK AHEAD) AS A MINIMUM.
15. CONES MAY BE SUBSTITUTED FOR DRUMS AND INSTALLED UPON THE APPROVAL OF THE AUTHORITY HAVING JURISDICTION PROVIDED THEY COMPLY WITH MUTCD.
16. THE SPACING BETWEEN CONES, TUBULAR MARKERS, VERTICAL PANELS, DRUMS, AND BARRICADES SHOULD NOT EXCEED A DISTANCE IN FEET EQUAL TO 1.0 TIMES THE SPEED LIMIT IN MPH WHEN USED FOR TAPER CHANNELIZATION, AND A DISTANCE IN FEET EQUAL TO 2.0 TIMES THE SPEED LIMIT IN MPH WHEN USED FOR TANGENT CHANNELIZATION.
17. WHEN CHANNELIZATION DEVICES HAVE THE POTENTIAL OF LEADING VEHICULAR TRAFFIC OUT OF THE INTENDED VEHICULAR TRAFFIC SPACE, THE CHANNELIZATION DEVICES SHOULD BE EXTENDED A DISTANCE IN FEET OF 2.0 TIMES THE SPEED LIMIT IN MPH BEYOND THE DOWNSTREAM END OF THE TRANSITION AREA.
18. TAPER LENGTHS ARE CALCULATED AS FOLLOWS:
 $L = WS^2/60$ (40 MPH AND HIGHER) OR $L2 = WS$ (OVER 40 MPH),
WHERE W= OFFSET WIDTH (FT), S= TRAFFIC SPEED (MPH).



TYPICAL PEDESTRIAN / WORKER SAFETY PLAN

SCALE: NOT TO SCALE

1

BROADBAND NETWORK OF
NEW MEXICO, LLC



PROJECT NO: ER600201
DRAWN BY: RC
CHECKED BY: SJB

C	02.10.17	FOR REVIEW
B	02.02.17	UC INCORPORATED
A	11.15.16	FOR REVIEW

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ENGINEER, TO ALTER THIS DOCUMENT

EP90XS750A
BELEN, NM 87002
PROPOSED 70'-0" WOOD POLE
70'

SHEET TITLE
PEDESTRIAN TRAFFIC
CONTROL PLAN

SHEET NUMBER
TC-2

1. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE LOCAL BUILDING CODE, THE LATEST ADOPTED EDITION AND ALL OTHER APPLICABLE CODES AND ORDINANCES.
2. CONTRACTOR SHALL CONSTRUCT SITE IN ACCORDANCE WITH THESE DRAWINGS AND LATEST MOBILITE CONSTRUCTION STANDARDS. THE SPECIFICATION IS THE RULING DOCUMENT AND ANY DISCREPANCIES BETWEEN THE SPECIFICATION AND THE CONSTRUCTION DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER OR MOBILITE CM PRIOR TO THE COMMENCEMENT OF WORK.
3. CONTRACTOR SHALL VISIT THE JOB SITE AND SHALL FAMILIARIZE THEMSELVES WITH ALL CONDITIONS AFFECTING THE (N) WORK AND SHALL MAKE PROVISIONS AS TO THE COST THEREOF. CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING THEMSELVES WITH ALL CONTRACT DOCUMENTS, FIELD CONDITIONS AND DIMENSIONS AND CONFIRMING THAT THE WORK MAY BE ACCOMPLISHED, AS SHOWN, PRIOR TO PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER OR MOBILITE CM PRIOR TO THE COMMENCEMENT OF WORK. NO COMPENSATION WILL BE AWARDED BASED ON CLAIM OF LACK OF KNOWLEDGE OF FIELD CONDITIONS.
4. IT IS NOT THE INTENT OF THESE PLANS TO SHOW EVERY MINOR DETAIL OF CONSTRUCTION. CONTRACTOR IS REQUIRED TO FURNISH AND INSTALL ANY/ALL ITEMS FOR A COMPLETE AND FULLY FUNCTIONAL SYSTEM SUBJECT ONLY TO OWNER-SUPPLIED ITEMS. CONTRACTOR SHALL PROVIDE ANY/ALL REQUIREMENTS FOR THE EQUIPMENT TO BE PLACED IN PROPER WORKING ORDER.
5. PLANS ARE NOT TO BE SCALED. THESE PLANS ARE INTENDED TO BE A DIAGRAMMATIC OUTLINE ONLY UNLESS OTHERWISE NOTED. THE WORK SHALL INCLUDE FURNISHING MATERIALS, EQUIPMENT AND APPURTENANCES, AND LABOR NECESSARY TO EFFECT ALL INSTALLATIONS AS INDICATED ON THE DRAWINGS. OWNER PROVIDED AND CONTRACTOR INSTALLED MATERIALS WILL INCLUDE THE FOLLOWING, UNLESS NOTED OTHERWISE:
 - A) TRANSMITTER
 - B) UHF ANTENNA AND MOUNTING BRACKETS, GPS ANTENNAS AND KU ANTENNAS
 - C) UHF COAX AND HANGERS
 - D) INTEGRATED LOAD CENTER
6. DIMENSIONS SHOWN ARE TO FINISH SURFACES UNLESS OTHERWISE NOTED. SPACING BETWEEN EQUIPMENT IS REQUIRED CLEARANCE. THEREFORE, IT IS CRITICAL TO FIELD VERIFY DIMENSIONS. SHOULD THERE BE ANY QUESTIONS REGARDING THE CONTRACT DOCUMENTS, (E) CONDITIONS AND/OR DESIGN INTENT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPORTING ANY DISCREPANCIES TO THE ATTENTION OF THE MOBILITE CM, IN WRITING, PRIOR TO THE COMMENCEMENT OF WORK.
7. DETAILS PROVIDED ARE FOR THE PURPOSE OF SHOWING DESIGN INTENT. MODIFICATIONS MAY BE REQUIRED TO SUIT JOB DIMENSIONS OR SITE CONDITIONS, AND SUCH MODIFICATIONS SHALL BE INCLUDED AS PART OF THE WORK.
8. CONTRACTOR SHALL PAY FOR APPLICABLE PERMITS, FEES, INSPECTIONS AND TESTING. CONTRACTOR IS TO OBTAIN PERMIS AND APPROVED SUBMITTALS PRIOR TO ORDERING MATERIALS AND THE COMMENCEMENT OF WORK.
9. THE TERM "PROVIDE" USED IN CONSTRUCTION DOCUMENTS AND SPECIFICATIONS, INDICATES THAT THE CONTRACTOR SHALL FURNISH AND INSTALL.
10. CONTRACTOR SHALL RECEIVE CLARIFICATION IN WRITING, AND SHALL RECEIVE IN WRITING AUTHORIZATION TO PROCEED BEFORE STARTING WORK ON ANY ITEMS NOT CLEARLY DEFINED OR IDENTIFIED BY THE CONTRACT DOCUMENTS.
11. CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK USING ACCEPTED INDUSTRY-STANDARD SKILLS AND ATTENTION. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER CONTRACT, UNLESS OTHERWISE NOTED.
12. CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF THE WORK AREA, ADJACENT AREAS AND BUILDING OCCUPANTS THAT ARE LIKELY TO BE AFFECTED BY THE WORK UNDER THIS CONTRACT. WORK SHALL CONFORM TO ALL OSHA REQUIREMENTS.
13. CONTRACTOR SHALL COORDINATE THEIR WORK WITH THE MOBILITE CM AND SCHEDULE THEIR ACTIVITIES AND WORKING HOURS IN ACCORDANCE WITH THE REQUIREMENTS.

14. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THEIR WORK WITH THE WORK OF OTHERS AS IT MAY RELATE TO RADIO EQUIPMENT, ANTENNAS AND ANY OTHER PORTIONS OF THE WORK.
15. CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS UNLESS SPECIFICALLY OTHERWISE INDICATED OR WHERE LOCAL CODES OR REGULATIONS TAKE PRECEDENCE.
16. CONTRACTOR SHALL MAKE NECESSARY PROVISIONS TO PROTECT (E) SURFACES, EQUIPMENT, IMPROVEMENTS, PIPING ETC. AND IMMEDIATE REPAIR, TO NEW CONDITION, ANY DAMAGE THAT OCCURS DURING CONSTRUCTION AT THE SOLE COST OF THE CONTRACTOR.
17. IN DRILLING HOLES, OR CORING, INTO CONCRETE WHETHER FOR FASTENING OR ANCHORING PURPOSES, OR PENETRATIONS THROUGH THE FLOOR FOR CONDUIT RUNS, PIPE RUNS, ETC., MUST BE CLEARLY UNDERSTOOD THAT REINFORCING STEEL SHALL NOT BE DRILLED INTO, CUT OR DAMAGED UNDER ANY CIRCUMSTANCES (UNLESS NOTED OTHERWISE). LOCATIONS OF REINFORCING STEEL ARE NOT DEFINITELY KNOWN AND THEREFORE MUST BE LOCATED BY THE CONTRACTOR USING APPROPRIATE METHODS AND EQUIPMENT PRIOR TO ANY DRILLING OR CORING OPERATIONS IN (E) CONCRETE.
18. CONTRACTOR SHALL REPAIR, TO NEW CONDITION, ALL (E) WALL SURFACES DAMAGED DURING CONSTRUCTION SUCH THAT THEY MATCH AND BLEND IN WITH ADJACENT SURFACES.
19. CONTRACTOR SHALL SEAL PENETRATIONS THROUGH FIRE RATED ASSEMBLIES OR MATERIALS WITH U.L. LISTED AND FIRE CODE APPROVED MATERIALS AND SYSTEMS THAT MEET OR EXCEED THE RATING OF THE ASSEMBLY IN WHICH THE NEW PENETRATION IS PLACED.
20. CONTRACTOR SHALL KEEP CONTRACT AREA CLEAN, HAZARD FREE, AND DISPOSE OF ALL DIRT, DEBRIS, AND RUBBISH. EQUIPMENT NOT SPECIFIED AS REMAINING ON THE PROPERTY OF THE OWNER SHALL BE REMOVED. LEAVE PREMISES IN CLEAN CONDITION AND FREE FROM PAINT SPOTS, DUST, OR SMUDGES OF ANY NATURE. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL ITEMS UNTIL COMPLETION OF CONSTRUCTION.
21. MINIMUM BEND RADIUS OF ANTENNA CABLES SHALL BE IN ACCORDANCE WITH CABLE MANUFACTURERS RECOMMENDATIONS.
22. CONTRACTOR SHALL MINIMIZE DISTURBANCE TO (E) SITE DURING CONSTRUCTION. EROSION CONTROL MEASURES, IF REQUIRED DURING CONSTRUCTION SHALL BE IN CONFORMANCE WITH JURISDICTIONAL OR STATE AND LOCAL GUIDELINES FOR EROSION AND SEDIMENT CONTROL AND COORDINATED WITH LOCAL REGULATORY AUTHORITIES. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTENANCE OF ANY EROSION CONTROL MEASURES, RECORD-KEEPING, MONITORING, AND REPORTING TO THE OWNER AND REGULATORY AUTHORITIES.
23. ALL CONSTRUCTION WORK IS TO ADHERE TO APPLICANT'S INTEGRATED CONSTRUCTION STANDARDS UNLESS STATE OR LOCAL CODE IS MORE STRINGENT.
24. THE INTENT OF THE PLANS AND SPECIFICATIONS IS TO PERFORM THE CONSTRUCTION IN ACCORDANCE PER STATE BUILDING STANDARDS CODE AND STATE CODE OF REGULATIONS. SHOULD ANY CONDITIONS DEVELOP NOT COVERED BY THE APPROVED PLANS AND SPECIFICATIONS WHEREIN THE FINISHED WORK WILL NOT COMPLY PER STATE CODE OF REGULATIONS, A SCOPE OF WORK DETAILING AND SPECIFYING THE REQUIRED WORK SHALL BE SUBMITTED TO AND APPROVED BY THE JURISDICTION BEFORE PROCEEDING WITH THE WORK. A CHANGE ORDER FOR THAT SCOPE SHALL BE SUBMITTED TO THE MOBILITE CM PRIOR TO PROCEEDING WITH THE WORK.
25. ADEQUATE AND REQUIRED LIABILITY INSURANCE SHALL BE PROVIDED BY THE CONTRACTOR FOR PROTECTION AGAINST PUBLIC LOSS AND ANY/ALL PROPERTY DAMAGE FOR THE DURATION OF WORK.
26. CONTRACTOR SHALL GUARANTEE ANY/ALL MATERIALS AND WORK FREE FROM DEFECTS FOR A PERIOD OF NOT LESS THAN ONE YEAR FROM DATE OF ACCEPTANCE. ANY CORRECTIVE WORK SHALL BE COMPLETED AT THE SOLE COST OF THE CONTRACTOR.

1. ELECTRICAL CONTRACTOR SHALL SUPPLY AND INSTALL ANY/ALL ELECTRICAL WORK INDICATED. ANY/ALL CONSTRUCTION SHALL BE IN ACCORDANCE W/DRAWINGS AND ANY/ALL APPLICABLE SPECIFICATIONS. IF ANY PROBLEMS ARE ENCOUNTERED BY COMPLYING WITH THESE REQUIREMENTS, CONTRACTOR SHALL NOTIFY MOBILITE CM AS SOON AS POSSIBLE, AFTER THE DISCOVERY OF THE PROBLEMS, AND SHALL NOT PROCEED WITH THAT PORTION OF WORK, UNTIL THE MOBILITE CM HAS DIRECTED THE CORRECTIVE ACTIONS TO BE TAKEN.

2. ELECTRICAL CONTRACTOR SHALL VISIT THE JOB SITE AND FAMILIARIZE THEMSELVES WITH ANY/ALL CONDITIONS AFFECTING ELECTRICAL AND COMMUNICATION INSTALLATION AND MAKE PROVISIONS AS TO THE COST THEREOF. ALL (E) CONDITIONS OF ELECTRICAL EQUIP., ETC., THAT ARE PART OF THE FINAL SYSTEM, SHALL BE VERIFIED BY THE CONTRACTOR, PRIOR TO THE SUBMITTING OF THEIR BID. FAILURE TO COMPLY WITH THIS PARAGRAPH WILL IN NO WAY RELIEVE CONTRACTOR OF PERFORMING ALL WORK NECESSARY FOR A COMPLETE AND WORKING SYSTEM.
3. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF THE NEC, ALL CODES AND ORDINANCES OF THE LOCAL JURISDICTION, AND POWER & TELEPHONE COMPANIES HAVING JURISDICTION AND SHALL INCLUDE BUT ARE NOT BE LIMITED TO:
 - A) UL - UNDERWRITERS LABORATORIES
 - B) NEC - NATIONAL ELECTRICAL CODE
 - C) NEMA - NATIONAL ELECTRICAL MANUFACTURERS ASSOC.
 - D) OSHA - OCCUPATIONAL SAFETY AND HEALTH ACT
 - E) SBC - STANDARD BUILDING CODE
 - F) NFPA - NATIONAL FIRE PROTECTION AGENCY
 - G) ANSI - AMERICAN NATIONAL STANDARDS INSTITUTE
 - H) IEEE - INSTITUTE OF ELECTRICAL AND ELECTRONICS ENGINEERS
 - I) ASTM - AMERICAN SOCIETY FOR TESTING MATERIALS
4. REFER TO SITE PLANS AND ELEVATIONS FOR EXACT LOCATIONS OF ALL EQUIPMENT, AND CONFIRM WITH MOBILITE CM ANY SIZES AND LOCATIONS WHEN NEEDED.
5. (E) SERVICES: CONTRACTOR SHALL NOT INTERRUPT (E) SERVICES WITHOUT WRITTEN PERMISSION OF THE OWNER.
6. CONTRACTOR SHALL CONFIRM WITH LOCAL UTILITY COMPANY ANY/ALL REQUIREMENTS SUCH AS THE: LUG SIZE RESTRICTIONS, CONDUIT ENTRY, SIZE OF TRANSFORMERS, SCHEDULED DOWNTIME FOR THE OWNERS' CONFIRMATION, ETC... ANY/ALL CONFLICTS SHALL BE BROUGHT TO THE ATTENTION OF THE MOBILITE CM, PRIOR TO BEGINNING ANY WORK.
7. MINIMUM WIRE SIZE SHALL BE #12 AWG, NOT INCLUDING CONTROL WIRING, UNLESS NOTED OTHERWISE. ALL CONDUCTORS SHALL BE COPPER WITH THWN INSULATION, UNLESS OTHERWISE NOTED.
8. OUTLET BOXES SHALL BE PRESSED STEEL IN DRY LOCATIONS, CAST ALLOY WITH THREADED HUBS IN WET/DAMP LOCATIONS AND SPECIAL ENCLOSURES FOR OTHER CLASSIFIED AREAS.
9. IT IS NOT THE INTENT OF THESE PLANS TO SHOW EVERY MINOR DETAIL OF THE CONSTRUCTION. CONTRACTOR IS EXPECTED TO FURNISH AND INSTALL ALL ITEMS FOR A COMPLETE ELECTRICAL SYSTEM AND PROVIDE ALL REQUIREMENTS FOR THE EQUIPMENT TO BE PLACED IN PROPER WORKING ORDER.
10. ELECTRICAL SYSTEM SHALL BE AS COMPLETELY AND EFFECTIVELY GROUNDED, AS REQUIRED BY SPECIFICATIONS, SET FORTH BY APPLICANT.
11. ALL WORK SHALL BE PERFORMED BY A LICENSED ELECTRICAL CONTRACTOR IN A FIRST CLASS, WORKMANLIKE MANNER. THE COMPLETED SYSTEM SHALL BE FULLY FUNCTIONAL AND SHALL BE APPROVED BY THE MOBILITE CM AND LOCAL JURISDICTION. ANY DEFICIENCIES SHALL BE CORRECTED BY AN ELECTRICAL CONTRACTOR AT THE SOLE COST OF THE CONTRACTOR.
12. ALL WORK SHALL BE COORDINATED WITH OTHER TRADES TO AVOID INTERFERENCE WITH THE PROGRESS OF CONSTRUCTION.



CHECKED BY: **SJB**

C	02.10.17	FOR REVIEW
B	02.02.17	UC INCORPORATED
A	11.05.16	FOR REVIEW

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EP90XS750A
BELEN, NM 87002
PROPOSED 70'-0" WOOD POLE

GENERAL NOTES

GN-1

13. THE CORRECTION OF ANY DEFECTS SHALL BE COMPLETED BY THE CONTRACTOR WITHOUT ANY ADDITIONAL CHARGE AND SHALL INCLUDE THE REPLACEMENT OR THE REPAIR OF ANY OTHER PHASE OF THE INSTALLATION, WHICH MAY HAVE BEEN DAMAGED THEREIN.
14. CONTRACTOR SHALL PROVIDE AND INSTALL CONDUIT, CONDUCTORS, PULL WIRES, BOXES, COVER PLATES AND DEVICES FOR ALL OUTLETS AS INDICATED.
15. DITCHING AND BACK FILL: CONTRACTOR SHALL PROVIDE FOR ALL UNDERGROUND INSTALLED CONDUIT AND/OR CABLES INCLUDING EXCAVATION AND BACKFILLING AND COMPACTION. REFER TO NOTES AND REQUIREMENTS 'EXCAVATION, AND BACKFILLING.
16. MATERIALS, PRODUCTS AND EQUIPMENT, INCLUDING ALL COMPONENTS THEREOF, SHALL BE NEW AND SHALL APPEAR ON THE LIST OF U.L. APPROVED ITEMS AND SHALL MEET OR EXCEED THE REQUIREMENTS OF THE NEC, NEMA AND IECE.
17. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OR MANUFACTURER'S CATALOG INFORMATION OF ANY/ALL EQUIPMENT AND ALL OTHER ELECTRICAL ITEMS FOR APPROVAL BY THE MOBILITIE CM PRIOR TO INSTALLATION.
18. ANY CUTTING OR PATCHING DEEMED NECESSARY FOR ELECTRICAL WORK IS THE ELECTRICAL CONTRACTORS RESPONSIBILITY AND SHALL BE INCLUDED IN THE COST FOR WORK AND PERFORMED TO THE SATISFACTION OF THE MOBILITIE CM UPON FINAL ACCEPTANCE.
19. THE ELECTRICAL CONTRACTOR SHALL LABEL ALL PANELS WITH ONLY TYPEWRITTEN DIRECTORIES. ALL ELECTRICAL WIRING SHALL BE THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR.
20. DISCONNECT SWITCHES SHALL BE UL-RATED, H.P. RATED HEAVY-DUTY, QUICK-MAKE AND QUICK-BREAK ENCLOSURES, AS REQUIRED BY EXPOSURE TYPE.
21. ALL CONNECTIONS SHALL BE MADE WITH A PROTECTIVE COATING OF AN ANTI-OXIDE COMPOUND KNOWN AS "NO-OXIDE A" BY DEARBORNE CHEMICAL CO. COAT ALL WIRE SURFACES BEFORE CONNECTING. EXPOSED COPPER SURFACES, INCLUDING GROUND BARS, SHALL BE TREATED - NO SUBSTITUTIONS.
22. RACEWAYS: CONDUIT SHALL BE SCHEDULE 80 PVC MEETING OR EXCEEDING NEMA TC2 - 1990. CONTRACTOR SHALL PLUG AND CAP EACH END OF SPARE AND EMPTY CONDUITS AND PROVIDE TWO SEPARATE PULL STRINGS - 200 LBS TEST POLYETHYLENE CORD. ALL CONDUIT BENDS SHALL BE A MINIMUM OF 2 FT. RADIUS. RGS CONDUITS WHEN SPECIFIED, SHALL MEET UL-6 FOR GALVANIZED STEEL. ALL FITTINGS SHALL BE SUITABLE FOR USE WITH THREADED RIGID CONDUIT. COAT ALL THREADS WITH 'BRITE ZINC' OR 'COLD GALV'.
23. SUPPORT OF ALL ELECTRICAL WORK SHALL BE AS REQUIRED BY NEC.
24. CONDUCTORS: CONTRACTOR SHALL USE 98% CONDUCTIVITY COPPER WITH TYPE THWN INSULATION, UNLESS OTHERWISE NOTED, 600 VOLT, COLOR CODED. USE SOLID CONDUCTORS FOR WIRE UP TO AND INCLUDING NO. 8 AWG. USE STRANDED CONDUCTORS FOR WIRE ABOVE NO. 8 AWG.
25. CONNECTORS FOR POWER CONDUCTORS: CONTRACTOR SHALL USE PRESSURE TYPE INSULATED TWIST-ON CONNECTORS FOR NO. 10 AWG AND SMALLER. USE SOLDERLESS MECHANICAL TERMINAL LUGS FOR NO. 8 AWG AND LARGER.
26. SERVICE: AS SPECIFIED ON THE DRAWINGS. OWNER OR OWNER'S AGENT WILL APPLY FOR POWER. ALL PROVISIONS FOR TEMPORARY POWER WILL BE OBTAINED BY THE CONTRACTOR.
27. TELEPHONE OR FIBER SERVICE: CONTRACTOR SHALL PROVIDE EMPTY CONDUITS WITH PULL STRINGS AS INDICATED ON DRAWINGS.
28. ELECTRICAL AND TELCO/FIBER RACEWAYS TO BE BURIED A MINIMUM DEPTH OF 30", UNLESS OTHERWISE NOTED.
29. CONTRACTOR SHALL PLACE 6" WIDE DETECTABLE WARNING TAPE AT A DEPTH OF 6" BELOW GROUND AND DIRECTLY ABOVE ELECTRICAL AND TELCO SERVICE CONDUITS. CAUTIONS TAPE TO READ "CAUTION BURIED ELECTRIC" OR "BURIED TELECOMM".
30. ALL BOLTS SHALL BE 3-16 STAINLESS STEEL.

1. ALL HARDWARE SHALL BE 3-16 STAINLESS STEEL, INCLUDING LOCK WASHERS. COAT ALL SURFACES WITH AN ANTI-OXIDANT COMPOUND, AS SPECIFIED, BEFORE MATING. ALL HARDWARE SHALL BE STAINLESS STEEL 3/8 INCH DIAMETER OR LARGER.
2. FOR GROUND BOND TO STEEL ONLY: INSERT A CADMIUM FLAT WASHER BETWEEN LUG AND STEEL, COAT ALL SURFACES WITH AN ANTI-OXIDANT COMPOUND BEFORE MATING.
3. ALL STEEL CONDUIT SHALL BE BONDED AT BOTH ENDS WITH GROUNDING BUSHING.
4. ALL ELECTRICAL AND GROUNDING AT THE POLE SITE SHALL COMPLY WITH THE NATIONAL ELECTRICAL CODE (NEC), NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 780 (LATEST EDITION), AND MANUFACTURER.
5. ALL DETAILS ARE SHOWN IN GENERAL TERMS. ACTUAL GROUNDING INSTALLATION AND CONSTRUCTION MAY VARY DUE TO SITE SPECIFIC CONDITIONS.
6. GROUND ALL ANTENNA BASES, FRAMES, CABLE RUNS, AND OTHER METALLIC COMPONENTS USING #6 GROUND WIRES. FOLLOW ANTENNA AND BTS MANUFACTURER'S PRACTICES FOR GROUNDING REQUIREMENTS.
7. ALL GROUND CONNECTIONS SHALL BE #6 AWG, UNLESS OTHERWISE NOTED. ALL WIRES SHALL BE COPPER WITH THHN, UNLESS OTHERWISE NOTED. ALL GROUND WIRE SHALL BE SOLID TIN COATED OR STRANDED GREEN INSULATED WIRE.
8. CONTRACTOR TO VERIFY AND TEST GROUND TO SOURCE, 10 OHMS MAXIMUM. PROVIDE SUPPLEMENT GROUNDING RODS AS REQUIRED TO ACHIEVE SPECIFIED OHMS READING. GROUNDING AND OTHER OPTIONAL TESTING WILL BE WITNESSED BY THE MOBILITE CM.
9. NOTIFY ARCHITECT/ENGINEER IF THERE ARE ANY DIFFICULTIES INSTALLING GROUNDING SYSTEM DUE TO SITE SOIL CONDITIONS.
10. ALL HORIZONTALLY RUN GROUNDING CONDUCTORS SHALL BE INSTALLED A MINIMUM OF 30" BELOW GRADE/ 6" BELOW FROST-LINE IN TRENCH, UNLESS OTHERWISE NOTED. BACK FILL SHALL BE COMPACTED AS REQUIRED BY ARCHITECT/ENGINEER.
11. ALL GROUND CONDUCTORS SHALL BE RUN AS STRAIGHT AND SHORT AS POSSIBLE, WITH A MINIMUM 12" BENDING RADIUS NOT LESS THAN 90 DEGREES.
12. ACCEPTABLE CONNECTIONS FOR GROUNDING SYSTEM SHALL BE:
 - A. BURNDY, HY-GRADE U.L LISTED CONNECTORS FOR OUTDOOR USE OR AS APPROVED BY APPLICANT PROJECT MANAGER.
 - B. CADWELD, EXOTHERMIC WELDS (WELDED CONNECTIONS).
 - C. ONE (1) HOLE TINNED COPPER COMPRESSION (LONG BARREL) FITTINGS.
13. ALL CRIMPED CONNECTIONS SHALL HAVE EMBOSSED MANUFACTURER'S DIEMARK VISIBLE AT THE CRIMP (RESULTING FROM USE OF PROPER CRIMPING DEVICES) AND WEATHER-PROOFED WITH HEAT SHRINK.
14. ALL CONNECTION HARDWARE SHALL BE TYPE 3-16 STAINLESS STEEL (NOT ATTRACTED TO MAGNETS).
15. ELECTRICAL SERVICE EQUIPMENT GROUNDING SHALL COMPLY WITH NEC, ARTICLE 250-82 AND SHALL BOND ALL (E) AND NEW GROUNDING ELECTRODES. NEW GROUNDING ELECTRODE SHALL INCLUDE BUT NOT LIMITED TO GROUND RODS.

1. RF CABLE, DATA CABLE, RADIO EQUIPMENT AND BACK HAUL EQUIPMENT TESTING WILL COMPLY WITH CURRENT INDUSTRY STANDARDS AND OR THOSE STANDARDS OF THE EQUIPMENT MANUFACTURER OR PROVIDED TO THE CONTRACTOR PRIOR TO TESTING.
2. CONTRACTOR WILL USE THE APPROPRIATE CALIBRATED TESTING EQUIPMENT IN THE TESTING OF RF CABLE, DATA CABLE, RADIO EQUIPMENT AND BACK HAUL EQUIPMENT THAT MEET INDUSTRY STANDARDS OF THE MANUFACTURER OR THOSE STANDARDS PROVIDED TO THE CONTRACTOR PRIOR TO TESTING.

1. DO NOT EXCAVATE OR DISTURB BEYOND THE PROPERTY LINES OR LEASE LINES, UNLESS OTHERWISE NOTED.
2. SIZE, LOCATION AND TYPE OF ANY UNDERGROUND UTILITIES OR IMPROVEMENTS SHALL BE ACCURATELY NOTED AND PLACED ON AS-BUILT DRAWINGS BY GENERAL CONTRACTOR AND ISSUED TO ARCHITECT/ENGINEER AT COMPLETION OF PROJECT.
3. ALL (E) UTILITIES, FACILITIES, CONDITIONS AND THEIR DIMENSIONS SHOWN ON PLANS HAVE BEEN PLOTTED FROM AVAILABLE RECORDS. THE ENGINEER AND OWNER ASSUME NO RESPONSIBILITY WHATSOEVER AS TO THE SUFFICIENCY OR ACCURACY OF THE INFORMATION SHOWN ON THE PLANS OR THE MANNER OF THEIR REMOVAL OR ADJUSTMENT. CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING EXACT LOCATION OF ALL (E) UTILITIES AND FACILITIES PRIOR TO START OF CONSTRUCTION. CONTRACTOR SHALL ALSO OBTAIN FROM EACH UTILITY COMPANY DETAILED INFORMATION RELATIVE TO WORKING SCHEDULES AND METHODS OF REMOVING OR ADJUSTING (E) UTILITIES.
4. CONTRACTOR SHALL VERIFY ALL (E) UTILITIES BOTH HORIZONTALLY AND VERTICALLY PRIOR TO START OF CONSTRUCTION. ANY DISCREPANCIES OR DOUBTS AS TO THE INTERPRETATION OF PLANS SHALL BE IMMEDIATELY REPORTED TO THE ARCHITECT/ENGINEER OR MOBILIZE CM FOR RESOLUTION AND INSTRUCTION, AND NO FURTHER WORK SHALL BE PERFORMED UNTIL THE DISCREPANCY IS CHECKED AND CORRECTED BY THE ARCHITECT/ENGINEER. FAILURE TO SECURE SUCH INSTRUCTION MEANS CONTRACTOR WILL HAVE WORKED AT THEIR OWN RISK AND EXPENSE. CONTRACTOR SHALL CALL LOCAL UTILITY LOCATE HOT LINE, SUCH AS 811, FOR UTILITY LOCATIONS A MINIMUM OF 48 HOURS PRIOR TO START OF CONSTRUCTION.
5. ALL NEW AND (E) UTILITY STRUCTURES ON SITE AND IN AREAS TO BE DISTURBED BY CONSTRUCTION SHALL BE ADJUSTED TO FINISH ELEVATIONS PRIOR TO FINAL INSPECTION OF WORK. ANY COST RELATED TO ADJUSTING (E) STRUCTURES SHALL BE BORNE SOLELY BY THE CONTRACTOR.
6. GRADING OF THE SITE WORK AREA IS TO BE SMOOTH AND CONTINUOUS IN SLOPE AND IS TO FEATHER INTO (E) GRADES AT THE GRADING LIMITS.
7. ALL TEMPORARY EXCAVATIONS FOR THE INSTALLATION OF FOUNDATIONS, UTILITIES, ETC., SHALL BE PROPERLY LAID BACK OR BRACED IN ACCORDANCE WITH CORRECT OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) REQUIREMENTS.

SHEET NUMBER
GN-2

SITE WORK NOTES CONT'D

8. STRUCTURAL FILLS SUPPORTING PAVEMENTS SHALL BE COMPACTED TO 95% OF MAXIMUM STANDARD PROCTOR DRY DENSITY, UNLESS OTHERWISE NOTED.
9. NEW GRADES NOT IN BUILDING AND DRIVEWAY IMPROVEMENT AREA TO BE ACHIEVED BY FILLING WITH APPROVED CLEAN FILL AND COMPACTED TO 95% OF STANDARD PROCTOR DENSITY.
10. ALL FILL SHALL BE PLACED IN UNIFORM LIFTS. THE LIFTS THICKNESS SHOULD NOT EXCEED THAT WHICH CAN BE PROPERLY COMPACTED THROUGHOUT ITS ENTIRE DEPTH WITH THE EQUIPMENT AVAILABLE.
11. ANY FILLS PLACED ON (E) SLOPES THAT ARE STEEPER THAN 10 HORIZONTAL TO 1 VERTICAL SHALL BE PROPERLY BENCHED INTO THE (E) SLOPE AS DIRECTED BY A GEOTECHNICAL ENGINEER.
12. CONTRACTOR SHALL CLEAN ENTIRE SITE AFTER CONSTRUCTION SUCH THAT NO DEBRIS, PAPER, TRASH, WEEDS, BRUSH, EXCESS FILL, OR ANY OTHER DEPOSITS WILL REMAIN. ALL MATERIALS COLLECTED DURING CLEANING OPERATIONS SHALL BE DISPOSED OF OFF-SITE BY THE GENERAL CONTRACTOR.
13. ALL TREES AND SHRUBS WHICH ARE NOT IN DIRECT CONFLICT WITH THE IMPROVEMENTS SHALL BE PROTECTED BY THE GENERAL CONTRACTOR.
14. ALL SITE WORK SHALL BE CAREFULLY COORDINATED BY GENERAL CONTRACTOR WITH LOCAL UTILITY COMPANY, TELEPHONE COMPANY, AND ANY OTHER UTILITY COMPANIES HAVING JURISDICTION OVER THIS LOCATION.

ENVIRONMENTAL NOTES:

1. ALL WORK PERFORMED SHALL BE DONE IN ACCORDANCE WITH ISSUED PERMITS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PAYMENT OF FINES AND PROPER CLEAN UP FOR AREAS IN VIOLATION.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION AND MAINTENANCE OF EROSION AND SEDIMENTATION CONTROLS DURING CONSTRUCTION FOR PROTECTION OF ADJACENT PROPERTIES, ROADWAYS AND WATERWAYS. ALL EROSION AND SEDIMENTATION CONTROLS SHALL BE MAINTAINED IN PLACE THROUGH FINAL JURISDICTIONAL INSPECTION & RELEASE OF SITE.
3. CONTRACTOR SHALL INSTALL/CONSTRUCT ALL NECESSARY SEDIMENT/SILT CONTROL FENCING AND PROTECTIVE MEASURES AS REQUIRED BY THE LOCAL JURISDICTION WITHIN THE LIMITS OF SITE DISTURBANCE PRIOR TO CONSTRUCTION.
4. NO SEDIMENT SHALL BE ALLOWED TO EXIT THE PROPERTY. THE CONTRACTOR IS RESPONSIBLE FOR TAKING ADEQUATE MEASURES FOR CONTROLLING EROSION. ADDITIONAL SEDIMENT CONTROL FENCING MAY BE REQUIRED IN ANY AREAS SUBJECT TO EROSION.
5. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING POSITIVE DRAINAGE ON THE SITE AT ALL TIMES WITH SILT AND EROSION CONTROL MEASURES MAINTAINED ON THE DOWNSTREAM SIDE OF SITE DRAINAGE. ANY DAMAGE TO ADJACENT PROPERTY AS A RESULT OF EROSION WILL BE CORRECTED AT THE CONTRACTORS EXPENSE.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR DAILY INSPECTIONS AND ANY REPAIRS OF ALL SEDIMENT CONTROL MEASURES INCLUDING SEDIMENT REMOVAL AS NECESSARY.
7. CLEARING OF VEGETATION AND TREE REMOVAL SHALL BE ONLY AS PERMITTED AND BE HELD TO A MINIMUM. ONLY TREES NECESSARY FOR CONSTRUCTION OF THE FACILITIES SHALL BE REMOVED.
8. SEEDING AND MULCHING AND/OR SODDING OF THE SITE WILL BE ACCOMPLISHED AS SOON AS POSSIBLE AFTER COMPLETION OF THE PROJECT FACILITIES AFFECTING LAND DISTURBANCE.
9. CONTRACTOR SHALL PROVIDE ALL EROSION AND SEDIMENTATION CONTROL MEASURES AS REQUIRED BY LOCAL, COUNTY AND STATE CODES AND ORDINANCES TO PROTECT EMBANKMENTS FROM SOIL LOSS AND TO PREVENT ACCUMULATION OF SOIL AND SILT IN STREAMS AND DRAINAGE PATHS LEAVING THE CONSTRUCTION AREA. THIS MAY INCLUDE, BUT IS NOT LIMITED TO SUCH MEASURES AS SILT FENCES, STRAW BALE SEDIMENT BARRIERS, AND CHECK DAMS.
10. RIP RAP OF SIZES INDICATED SHALL CONSIST OF CLEAN, HARD, SOUND, DURABLE, UNIFORM IN QUALITY STONE FREE OF ANY DETRIMENTAL QUANTITY OF SOFT, FRIABLE, THIN, ELONGATED OR LAMINATED PIECES, DISINTEGRATED MATERIAL, ORGANIC MATTER, OIL, ALKALI, OR OTHER DELETERIOUS SUBSTANCES.

11. GC TO PLACE FILTER MATERIAL AT ALL CATCH BASINS ADJACENT TO CONSTRUCTION SITE TO PREVENT SOLID WASTE CONTAMINATION FROM ENTERING SEWER SYSTEM

FOUNDATION, EXCAVATION AND BACKFILL NOTES:

1. ALL FINAL GRADED SLOPES SHALL BE A MAXIMUM OF 3 HORIZONTAL TO 1 VERTICAL, UNLESS OTHERWISE NOTED.
2. BACKFILL OF POLE SHALL BE PERFORMED IN ONE OF THREE OPTIONS:
 - A. PREFERRED: RAINBOW INDUSTRIES POLE SETTING FOAM SHALL BE INSTALLED PER MANUFACTURER SPECS. FOAM SHALL ALWAYS BE USED FOR POOR SOILS.
 - B. SECONDARY: CONCRETE (REQUIRES MOBILITE CM WRITTEN APPROVAL)
ALLOWABLE SOIL PRESSURE = 2000 PSF (ASSUMED).
NON-NATIVE SOILS SHALL BE REMOVED FROM BORE AREA AND SHALL NOT BE REUSED FOR BACKFILL.
9. ALL EXCAVATIONS PREPARED FOR PLACEMENT OF CONCRETE SHALL BE OF UNDISTURBED SOILS, SUBSTANTIALLY HORIZONTAL AND FREE FROM ANY LOOSE, UNSUITABLE MATERIAL OR FROZEN SOILS, AND WITHOUT THE PRESENCE OF POUNDING WATER. DEWATERING FOR EXCESS GROUND WATER SHALL BE PROVIDED WHEN REQUIRED. COMPACTION OF SOILS UNDER CONCRETE PAD FOUNDATIONS SHALL NOT BE LESS THAN 95% OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY FOR THE SOIL IN ACCORDANCE WITH ASTM D1557.
10. CONCRETE FOUNDATIONS SHALL NOT BE PLACED ON ORGANIC OR UNSUITABLE MATERIAL. IF ADEQUATE BEARING CAPACITY IS NOT ACHIEVED AT THE DESIGNED EXCAVATION DEPTH, THE UNSATISFACTORY SOIL SHALL BE EXCAVATED TO ITS FULL DEPTH AND EITHER BE REPLACED WITH MECHANICALLY COMPACTED GRANULAR MATERIAL OR THE EXCAVATION SHALL BE FILLED WITH CONCRETE OF THE SAME TYPE SPECIFIED FOR THE FOUNDATION. CRUSHED STONE MAY BE USED TO STABILIZE THE BOTTOM OF THE EXCAVATION. ANY STONE SUB BASE MATERIAL, IF USED, SHALL NOT SUBSTITUTE FOR REQUIRED THICKNESS OF CONCRETE.
11. ALL EXCAVATIONS SHALL BE CLEAN OF UNSUITABLE MATERIAL SUCH AS VEGETATION, TRASH, DEBRIS, AND SO FORTH PRIOR TO BACK FILLING. BACK FILL SHALL CONSIST OF APPROVED MATERIALS SUCH AS EARTH, LOAM, SANDY CLAY, SAND AND GRAVEL, OR SOFT SHALE, FREE FROM CLODS OR LARGE STONES OVER 2 1/2" MAX DIMENSIONS. ALL BACK FILL SHALL BE PLACED IN COMPACTED LAYERS.
12. ALL FILL MATERIALS AND FOUNDATION BACK FILL SHALL BE PLACED IN MAXIMUM 6" THICK LIFTS BEFORE COMPACTION. EACH LIFT SHALL BE WETTED IF REQUIRED AND COMPACTED TO NOT LESS THAN 95% OF THE MODIFIED PROCTOR MAXIMUM DRY DENSITY FOR SOIL IN ACCORDANCE WITH ASTM D1557.
13. NEWLY PLACED CONCRETE FOUNDATIONS SHALL CURE A MINIMUM OF 72 HRS PRIOR TO BACK FILLING.
14. FINISHED GRADING SHALL BE SLOPED TO PROVIDE POSITIVE DRAINAGE AND PREVENT STANDING WATER. THE FINAL (FINISH) ELEVATION OF SLAB FOUNDATIONS SHALL SLOPE AWAY IN ALL DIRECTIONS FROM THE CENTER. FINISH GRADE OF CONCRETE PADS SHALL BE A MAXIMUM OF 4 INCHES ABOVE FINAL FINISH GRADE ELEVATIONS. PROVIDE SURFACE FILL GRAVEL TO ESTABLISH SPECIFIED ELEVATIONS WHERE REQUIRED.
15. NEWLY GRADED GRAVEL SURFACE AREAS TO RECEIVE GRAVEL SHALL BE COVERED WITH GEOTEXTILE FABRIC TYPE: TYPAR-3401 AS MANUFACTURED BY TYPAR GEOSYNTHETICS OR AN APPROVED EQUIVALENT, SHOWN ON PLANS. THE GEOTEXTILE FABRIC SHALL BE BLACK IN COLOR TO CONTROL THE RECURRENT OF VEGETATIVE GROWTH AND EXTEND TO WITHIN 1 FOOT OUTSIDE THE SITE FENCING OR ELECTRICAL GROUNDING SYSTEM PERIMETER WHICH EVER IS GREATER. ALL FABRIC SHALL BE COVERED WITH A MINIMUM OF 4" DEEP COMPACTED STONE OR GRAVEL AS SPECIFIED. I.E. FDOT TYPE NO. 57 FOR FENCED COMPOUND; FDOT TYPE NO. 67 FOR ACCESS DRIVE AREA, UNLESS OTHERWISE NOTED.
16. IN ALL AREAS TO RECEIVE FILL: REMOVE ALL VEGETATION, TOPSOIL, DEBRIS, WET AND UNSATISFACTORY SOIL MATERIALS, OBSTRUCTIONS, AND DELETERIOUS MATERIALS FROM GROUND SURFACE. PLOW STRIP OR BREAK UP SLOPED SURFACES STEEPER THAN 1 VERTICAL TO 4 HORIZONTAL SUCH THAT FILL MATERIAL WILL BIND WITH (E)/PREPARED SOIL SURFACE.
17. WHEN SUB GRADE OR PREPARED GROUND SURFACE HAS A DENSITY LESS THAN THAT REQUIRED FOR THE FILL MATERIAL, SCARIFY THE GROUND SURFACE TO DEPTH REQUIRED, PULVERIZE, MOISTURE-CONDITION AND/OR AERATE THE SOILS AND RECOMPACT TO THE REQUIRED DENSITY PRIOR TO PLACEMENT OF FILLS.
18. IN AREAS WHICH (E) GRAVEL SURFACING IS REMOVED OR DISTURBED DURING CONSTRUCTION OPERATIONS, REPLACE GRAVEL SURFACING TO MATCH ADJACENT

GRAVEL SURFACING AND RESTORED TO THE SAME THICKNESS AND COMPACTION AS SPECIFIED. ALL RESTORED GRAVEL SURFACING SHALL BE FREE FROM CORRUGATIONS AND WAVES.

19. (E) GRAVEL SURFACING MAY NOT BE REUSED.
20. GRAVEL SUB SURFACE SHALL BE PREPARED TO REQUIRED COMPACTION AND SUB GRADE ELEVATIONS BEFORE GRAVEL SURFACING IS PLACED AND/OR RESTORED. ANY LOOSE OR DISTURBED MATERIALS SHALL BE THOROUGHLY COMPACTED AND ANY DEPRESSIONS IN THE SUB GRADE SHALL BE FILLED AND COMPACTED WITH APPROVED SELECTED MATERIAL. GRAVEL SURFACING MATERIAL SHALL NOT BE USED FOR FILLING DEPRESSIONS IN THE SUB GRADE.
21. PROTECT (E) GRAVEL SURFACING AND SUB GRADE IN AREAS WHERE EQUIPMENT LOADS WILL OPERATE. USE PLANKING 'MATTS' OR OTHER SUITABLE PROTECTION DESIGNED TO SPREAD EQUIPMENT LOADS AS MAY BE NECESSARY. REPAIR ANY DAMAGE TO (E) GRAVEL SURFACING OR SUB GRADE WHERE SUCH DAMAGE IS DUE TO THE CONTRACTORS OPERATIONS.
22. DAMAGE TO (E) STRUCTURES AND/OR UTILITIES RESULTING FROM CONTRACTORS NEGLIGENCE SHALL BE REPAIRED AND/ OR REPLACED TO THE OWNERS SATISFACTION AT NO ADDITIONAL COST TO THE CONTRACT.
23. ALL SUITABLE BORROW MATERIAL FOR BACK FILL OF THE SITE SHALL BE INCLUDED IN THE BID. EXCESS TOPSOIL AND UNSUITABLE MATERIAL SHALL BE DISPOSED OF OFF SITE AT LOCATIONS APPROVED BY GOVERNING AGENCIES AT NO ADDITIONAL COST TO THE CONTRACT.

BROADBAND NETWORK OF
NEW MEXICO, LLC

PROJECT NO:	ER600201
DRAWN BY:	RC
CHECKED BY:	SJB

C	02.10.17	FOR REVIEW
B	02.02.17	UC INCORPORATED
A	11.15.16	FOR REVIEW

PRELIMINARY
NOT FOR CONSTRUCTION

IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT

EP90XS750A
BELEN, NM 87002
PROPOSED 70'-0" WOOD POLE

SHEET TITLE

GENERAL NOTES

SHEET NUMBER

GN-3

**CITY OF BELEN
100 SOUTH MAIN STREET
BELEN, NM 87002
(505) 864-8221**

NOTICE OF PUBLIC HEARING

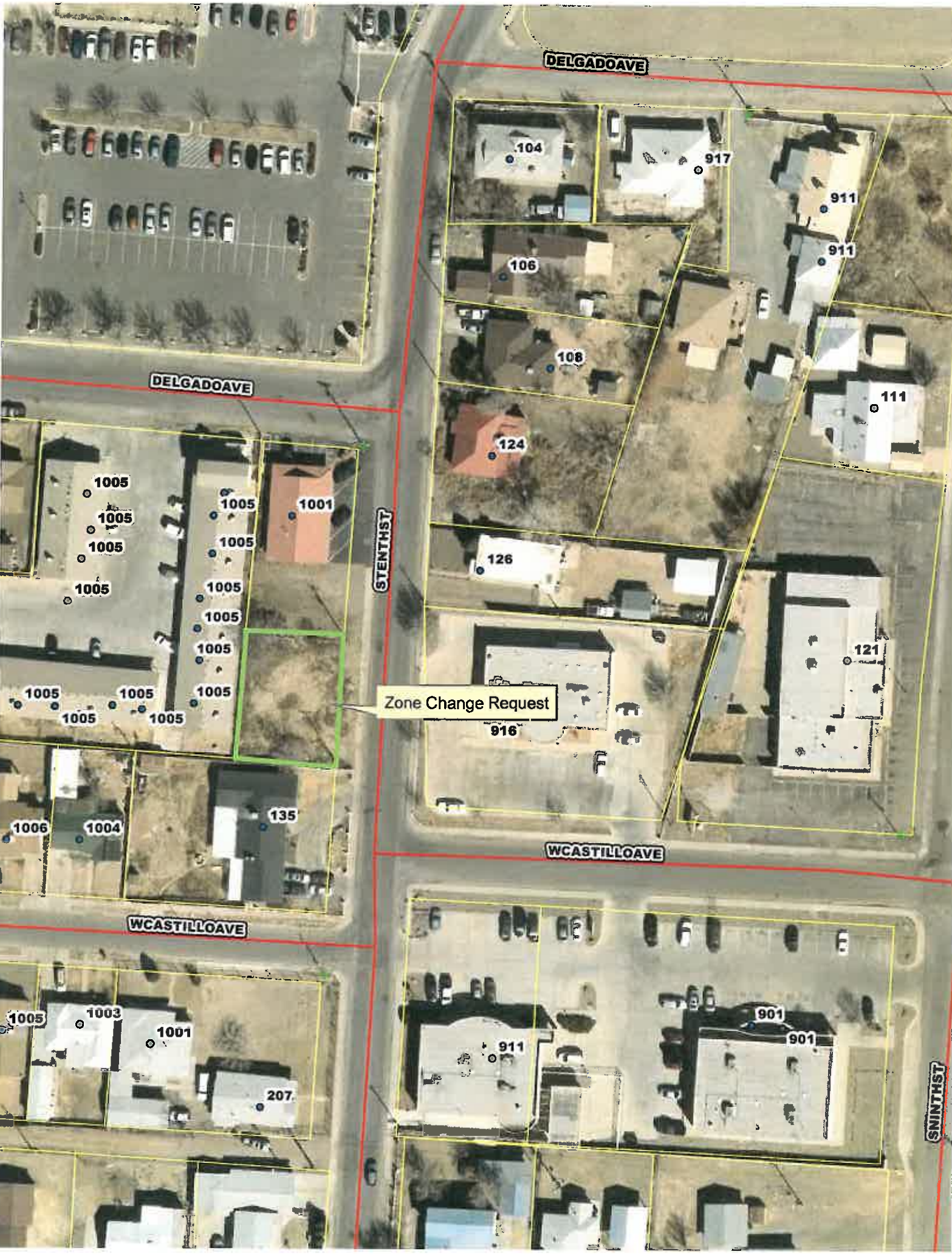
NOTICE IS HEREBY GIVEN to the public and all parties of interest that the Belen Planning and Zoning Commission will conduct a public hearing to consider a **REQUEST FOR A ZONE CHANGE FROM R-1 TO R-2 AND A VARIANCE ON SETBACK RESTRICTIONS: MIKE BALDONADO**, for the purpose of constructing a duplex.

LEGAL DESCRIPTION: Township 5 North, Range 2 East, Section 18, Map 100, Tract 57A1, containing .11 acres, aka 133 S Tenth St., Belen, NM, 87002.

You are further notified that this public hearing will be held on **Monday, March 27, 2017 at 6:30 PM**, in the Council Chambers at City Hall, 100 South Main Street, Belen, NM 87002. Any person having objections or wishing to be heard should make such protests to the Belen Planning and Zoning Commission at the above stated date and time. Comments should be mailed to the Belen Planning and Zoning Department at 100 South Main Street, Belen, NM 87002.

The Belen City Council will consider the recommendation of the Belen Planning & Zoning Commission and take action on the request to Amend the Zone Map at a public hearing which will be held on **Monday, April 3, 2017 at 6:00 P.M.**, in the Council Chambers at City Hall, 100 South Main Street, Belen NM 87002

LEGAL NOTICE PUBLISHED: March 9, 2017



**CITY OF BELEN, NEW MEXICO
AMENDMENT TO ZONING MAP APPLICATION
(ZONE CHANGE)**

Applicants Name: Miguel Beldonado Phone: 864 6008
Address: 194970 Hwy 314 Belen N Mex 87002
Authorized Agents Name: _____ Phone: _____
Address: _____

Address of Property: 133 S 10th Street Belen NM 87002
Block and Lot: Lot 15-17 Filed 154 Addition: 133 10th Street
Tract Number: 57 A1 Map: MRGCD Map 100
Total acreage in Tract: 0.1076 Acres
Number of Dwellings: 2 Density/Acre: 0.1076 a.c
Zoning of Property: R1 Present Use: 0
Requested Zoning: R2

APPLICATION REQUIREMENTS

The following material must be provided by applicant.

- Filing fee of \$250.00
- Letter of transmittal, describing existing zoning, proposed zoning and reasons for the request.
- Affidavit of ownership.
- A scaled drawing describing the survey of tract boundaries, the location of all roads on and adjacent to the tract, the existing zoning for the tract and adjacent properties.
- Survey plat showing boundary, metes and bounds description of the land proposed for rezoning.

The Applicant must also do the following:

- Post and maintain one or more signs on the premises involved at least fifteen days prior Public Hearing Date and remove such signs within five days after Public Hearing Date.

NOTE: Failure to do so is grounds for deferral or denial of this application.

Accompanying this application are the above listed requirements for the proposed Amendment to the Zoning Map. I have examined and am familiar with the zoning regulations of the present zone and the requested zone. I understand that the City of Belen will not assume any liability for a possible lack of understanding on my part.

Miguel Beldonado Feb 17 2017
Signature of Applicant Date

**THIS APPLICATION REQUIRES A PUBLIC HEARING BY THE PLANNING & ZONING
COMMISSION AND THE BELEN CITY COUNCIL.**

Planning and Zoning Commission Meeting Date: March 27 Approved/Disapproved: _____
Belen City Council Meeting Date: _____ Approved/Disapproved: _____

FEE PAID: \$250 RECEIPT NO.: 14:002395 DATE: 2-23-17

City of Belen zoning 2/23/17
d/ Lisa Miller,

In request for a change zone to
become R-2, we think our city is
in demand for R-2 apartment
approval to serve our seniors and
all else for convenience to shop
church and easy close shopping.

Thank you for your consideration.

Mike Ballonade

I AM also Requesting
a Variance on Side Bakes.

OWNERS AFFIDAVIT

STATE OF NEW MEXICO)
COUNTY OF VALENCIA) SS
CITY OF BELEN)

We,
I Miguel Baldonado
(Please PRINT name in full)

being duly sworn, depose and say that (I am) (we are) the owner(s) of property located at
133 S 10th Street Belen, for which (I am) (we are)
(Address) Nm 87002

requesting a (Zone Change, Special Use Permit, Variance, Conditional Use, Annexation, Appeal)
_____ through the City of Belen. Furthermore, (I) (we) hereby appoint
_____ of _____ as our agent to act in our
behalf on all matters pertaining to the processing of this application.

Miguel Baldonado
Signed
19497 Hwy 314 Belen N Mex 87002
Address

864 000 8
Phone



Subscribed and sworn to before me this 23rd day of February, 20 17.
Lisa R Miller
Notary

My Commission Expires:

9-13-17

850561 Agent Detail Report - Land Active			133 S 10Th Street, Belen, NM 87002		\$8,900
Area:	741 - Belen	Lot SqFt:	3,920.4	On Market Date:	09/23/2015
Zone Atlas:	QQQ6	Apx Lot Dim Side:	75	Expiration Date:	03/23/2016
County:	Valencia	Price/Acre:	98,888.89	DOM/CDOM:	181/181
Acres:	0.09	Apx Lot Dim Front:	81	Lot Size Source:	On-Line
Subdivision: NA					
# of Lots: 1					
Legal Description: S: 18 T: 5N R: 2E MAP 100 TR 57A1 .09 ACS: 18 T: 5N R: 2E MAP 100 TR 57A1 .09 AC					
Tract:	57A1	Block:	NA		
Unit:	NA	Section:	18		
Lot:	NA	Township:	5N		
Property Sub-Type:	Sale	Range:	2E		
Short Sale:	No	Bank Owned:	No		



Package Deal: No
Lot: NA

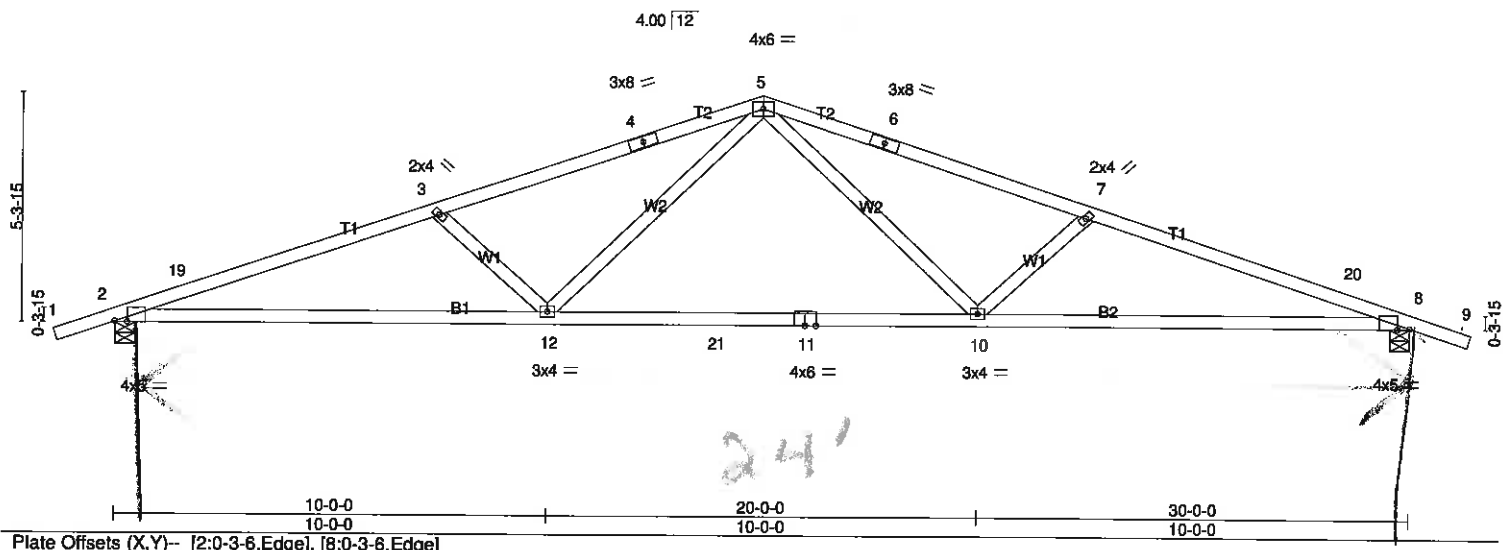
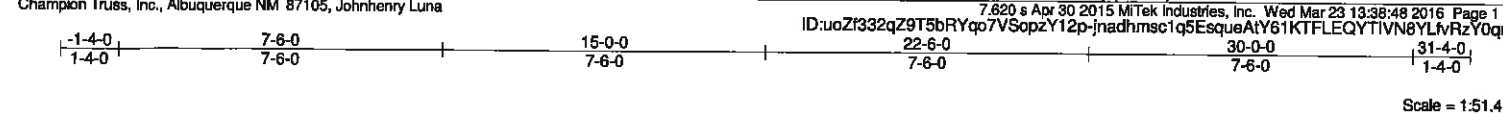
Acc. To Prop Line: Paved Road, Public Road	Property Access: E Property Line	Topography: Mostly Level
Distance to Cable: At Line	Distance to Phone: At Line	Type: Lot
Docs/Data Available: None	Distance to Gas: At Line	Utility Impact Fee: Utility Impact Fee: Unknown
Dist to Electrical: At Line	Possession: Day of Funding	Water Information: City Water
Finance Considered: Cash Only	Restrictive Covenant: Same As Zoning	Distance to Water: At Line
Features: Curb And Gutter, Sidewalk	Sales Info: Seller Assist Ofrd: No, FIRPTA: No, Trade/Xch Considered: No	Zoning: R-1
	Distance to Sewer: At Line	
	Title Evidence: Tid Bndr Prior Clos	

Directions: Min st Belen and Reinken. West on Reinken. South on 10th St to property. West side of street
Prop Specific Rm rks: Small lot adjacent to attorney office.

Owner Name: Manuel Gallegos	Listing Member: Mary E Saul	Listing Office: (CBLR08)Coldwell Banker Legacy
Owner Phone: Theresa	Phone: 505-480-3342	Phone: 505-865-5500
Owner Phone 2:	Email: msaulrealtor@swcp.com	Fax: 505-865-6001
Owner/Broker: No		
UPC Code: 1007028008273000000	Block: NA	Unconditional Comp: 5%
Apx Taxes: 36.76	FIRPTA: No	Variable Rate Comm: No
Tax Exemption: Unknown		Buyer Exclusion: No
Flood Zone: Unknown		

Original List Price: 8,900 Service Type: Full Service On Market Date: 09/23/2015 Expiration Date: 03/23/2016
Agreement Type: Exclusive Right To Sell Status Change Date: 09/23/2015 Listing Date: 09/23/2015 Prepared By: msaul
Information is deemed to be reliable, but is not guaranteed. © 2016 MLS and FBS. Prepared by Mary E Saul on Tuesday, March 22, 2016 11:40 AM. The information on this sheet has been made available by the MLS and may not be the listing of the provider.

Job	Truss	Truss Type	Qty	Ply	Addition
B160513	T1	Common	36	1	
Champion Truss, Inc., Albuquerque NM 87105, Johnhenry Luna					
Job Reference (optional)					



LOADING (psf)	SPACING-	2-0-0	CSI.	DEFL.	in (loc)	l/defl	L/d	PLATES	GRIP
TCLL 20.0	Plate Grip DOL	1.25	TC 0.87	Vert(LL)	-0.40 10-12	>897	360	MT20	197/144
TCDL 10.0	Lumber DOL	1.25	BC 0.67	Vert(TL)	-0.87 10-12	>412	240		
BCLL 0.0 *	Rep Stress Incr	YES	WB 0.33	Horz(TL)	0.13 8	n/a	n/a		
BCDL 10.0	Code IRC2009/TPI2007		(Matrix-M)					Weight: 97 lb	FT = 20%

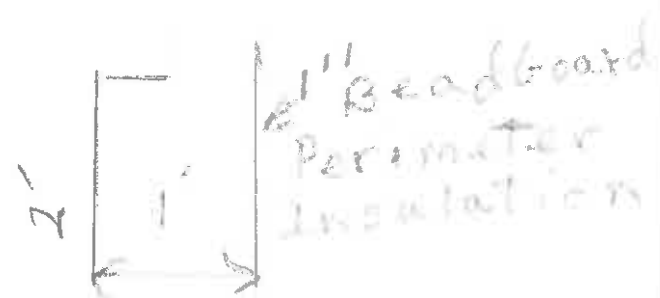
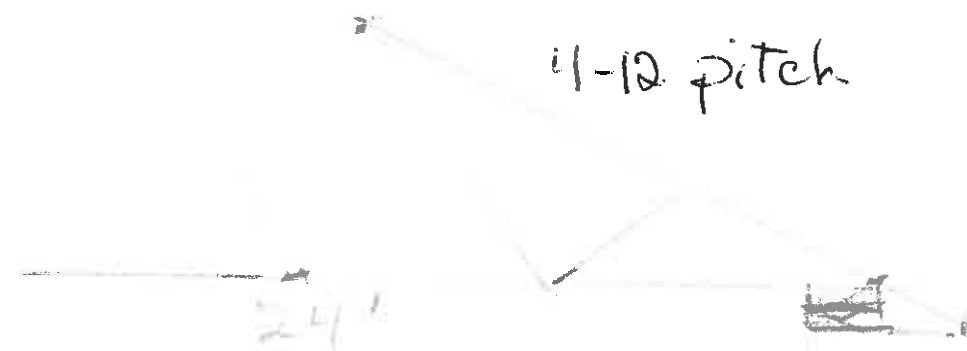
LUMBER- TOP CHORD 2x4 SPF 1650F 1.5E BOT CHORD 2x4 SPF 1650F 1.5E WEBS 2x4 SPF Stud	BRACING- TOP CHORD Structural wood sheathing directly applied or 3-2-15 oc purlins. BOT CHORD Rigid ceiling directly applied or 10-0-0 oc bracing.
MiTek recommends that Stabilizers and required cross bracing be installed during truss erection, in accordance with Stabilizer Installation guide.	

REACTIONS. (lb/size) 2=1325/0-5-8 (min. 0-2-1), 8=1324/0-5-8 (min. 0-2-1)
Max Horz 2=62(LC 6)
Max Uplift 2=-44(LC 4), 8=-44(LC 5)

FORCES. (lb) - Max. Comp./Max. Ten. - All forces 250 (lb) or less except when shown.
TOP CHORD 2-19=-2937/332, 3-19=-2825/354, 3-4=-2586/289, 4-5=-2494/301, 5-6=-2493/301,
6-7=-2585/289, 7-20=-2824/354, 8-20=-2936/332
BOT CHORD 2-12=-249/2730, 12-21=-122/1808, 11-21=-122/1808, 10-11=-122/1808, 8-10=-249/2729
WEBS 5-10=-1/833, 7-10=-500/174, 5-12=-1/834, 3-12=-500/174

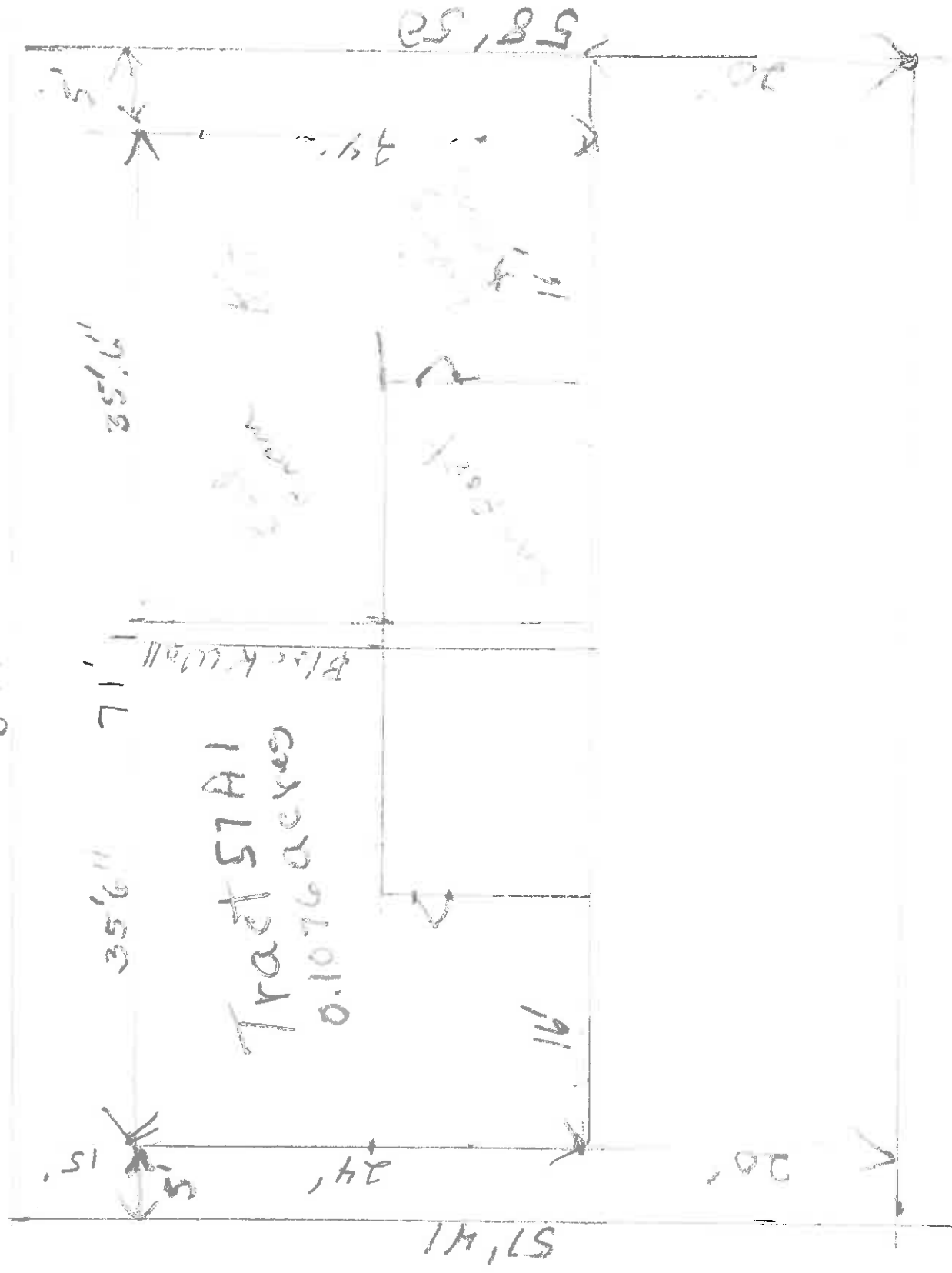
- NOTES-**
- 1) Unbalanced roof live loads have been considered for this design.
 - 2) Wind: ASCE 7-05; 90mph; TCCL=6.0psf; BCDL=6.0psf; h=12ft; Cat. II; Exp C; enclosed; MWFRS (low-rise) and C-C Exterior(2) -1-4-9 to 1-7-7, Interior(1) 1-7-7 to 12-0-0, Exterior(2) 12-0-0 to 15-0-0, Interior(1) 18-0-0 to 28-4-9 zone; end vertical left and right exposed; C-C for members and forces & MWFRS for reactions shown; Lumber DOL=1.33 plate grip DOL=1.33
 - 3) This truss has been designed for a 10.0 psf bottom chord live load nonconcurrent with any other live loads.
 - 4) * This truss has been designed for a live load of 20.0psf on the bottom chord in all areas where a rectangle 3-6-0 tall by 2-0-0 wide will fit between the bottom chord and any other members, with BCDL = 10.0psf.
 - 5) Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 44 lb uplift at joint 2 and 44 lb uplift at joint 8.
 - 6) This truss is designed in accordance with the 2009 International Residential Code sections R502.11.1 and R802.10.2 and referenced standard ANSI/TPI 1.
 - 7) "Semi-rigid pitchbreaks including heels" Member end fixity model was used in the analysis and design of this truss.

LOAD CASE(S) Standard



Miguel Balboa

8125



Miguel Baldonado 864-0008

**CITY OF BELEN
100 SOUTH MAIN STREET
BELEN, NM 87002
(505) 864-8221**

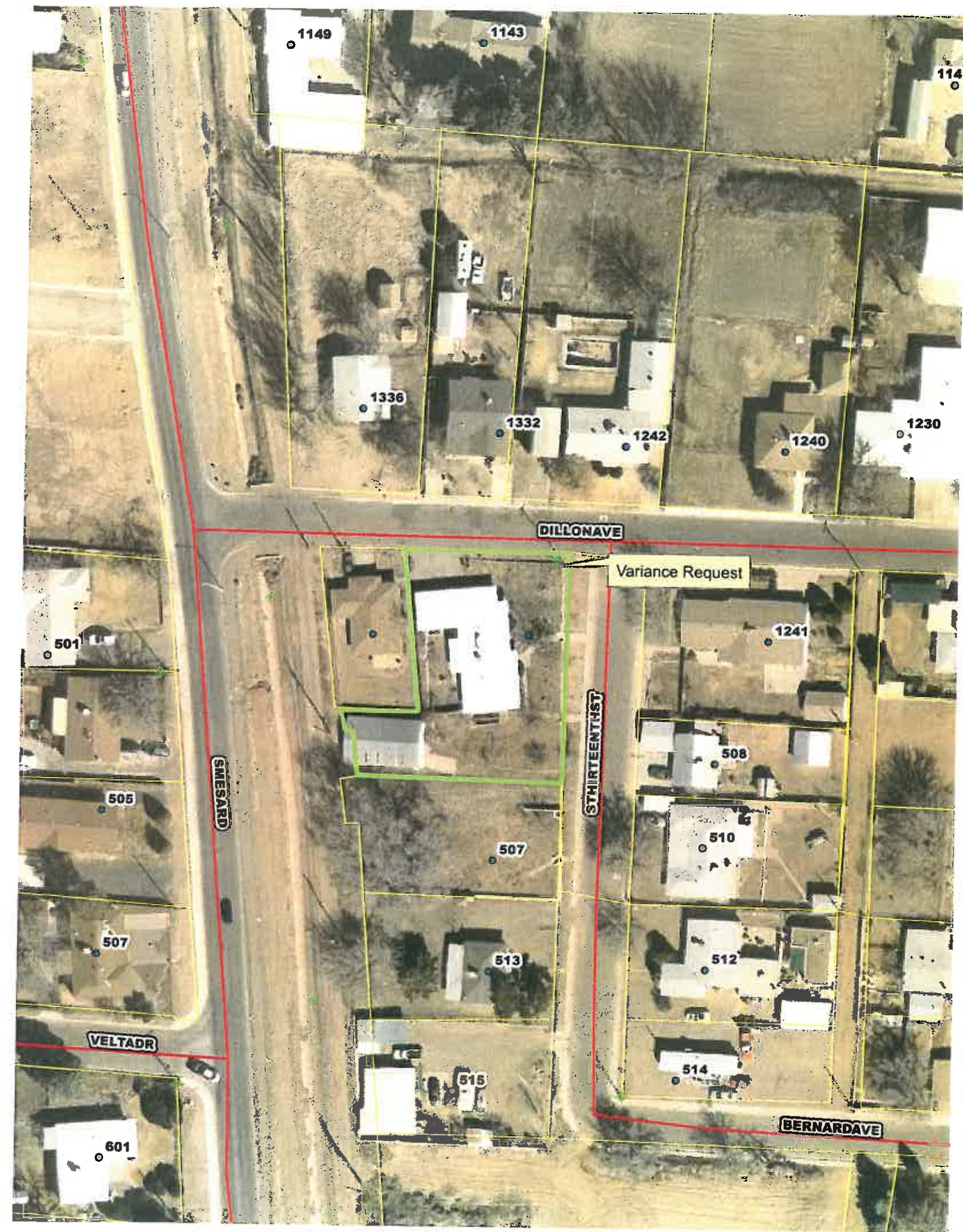
NOTICE OF PUBLIC HEARING

NOTICE IS HEREBY GIVEN to the public and all parties of interest that the Belen Planning and Zoning Commission will conduct a public hearing to consider a **REQUEST FOR A VARIANCE ON FENCE HEIGHT RESTRICTIONS: RYAN LANG.**

LEGAL DESCRIPTION: Township 5 North, Range 1 East, Section 13, Lot B Payne Addition, aka 501 S Thirteenth St., Belen, NM, 87002.

You are further notified that this public hearing will be held on **Monday, March 27, 2017 at 6:30 PM**, in the Council Chambers at City Hall, 100 South Main Street, Belen, NM 87002. Any person having objections or wishing to be heard should make such protests to the Belen Planning and Zoning Commission at the above stated date and time. Comments should be mailed to the Belen Planning and Zoning Department at 100 South Main Street, Belen, NM 87002.

LEGAL NOTICE PUBLISHED: March 9, 2017



CITY OF BELEN, NEW MEXICO
APPLICATION FOR ZONING VARIANCE

Section 17.04.040 City of Belen Municipal code: "Variance" means a relaxation of the terms of this title where such variance will not be contrary to the public interest and where, owing to conditions peculiar to the property and not the result of actions of the applicant, a literal enforcement of this title would result in unnecessary and undue hardship. As used in this title, a variance may be authorized only for area, height, dimension, distance, setback, off-street parking, and off street loading requirements

Applicants Name: Ryan Lang Phone: 309-333-6573
Address: 501 South 13th Street
Authorized Agents Name: _____ Phone: _____
Address: _____

Address of Property: 501 South 13th Street
Block and Lot: LOT B Addition: PAYNE
Tract Number: _____ Map: _____
Total acreage in Tract: _____
Number of Dwellings: ONE W/DETACHED GAR Density/Acre: _____
Zoning of Property: R-1 Present Use: RESIDENTIAL

APPLICATION REQUIREMENTS

The following material must be provided by applicant.

- Filing fee payment of \$150.00 Double application fees will be charged for uses commenced without approval under the Municipal Code and/or the Zoning Ordinance and for which a citation (violation) may have been issued.
- Letter of transmittal, state why a literal enforcement of Section 17.04.040 City of Belen Municipal Code would result in unnecessary and undue hardship.
- Specify type of variance requested, height, setback, lot coverage, parking requirement.
- Affidavit of ownership.
- Survey plat or scaled drawing of property describing property line, lot dimensions, easements, structures and accessory structures where variance is requested. Indicate dimensions of all structure heights and size of signs.

The Applicant must also do the following:

- Post and maintain one or more signs on the premises involved at least fifteen days prior Public Hearing Date and remove such signs within five days after Public Hearing Date.

NOTE: Failure to do so is grounds for deferral or denial of this application.

Accompanying this application are the above listed requirements for the proposed Zoning Variance. I have examined and am familiar with the zoning regulations of the present zone and the requested variance. I understand that the City of Belen will not assume any liability for a possible lack of understanding on my part.

Ryan Lang 3-1-17
Signature of Applicant Date

THIS APPLICATION REQUIRES A PUBLIC HEARING BY THE PLANNING & ZONING COMMISSION

Planning and Zoning Commission Meeting Date: 3-27-17 Approved/Disapproved: _____

FEE PAID: \$150 RECEIPT NO.: 14-002449 DATE: 3-1-17

I am requesting a variance for a six ft
cedar fence for safety reasons on my property
at 501 South 13th Street.

Ryan Lang

OWNERS AFFIDAVIT

STATE OF NEW MEXICO)
COUNTY OF VALENCIA) SS
CITY OF BELEN)

We, Ryan Lang
I (Please PRINT name in full)

being duly sworn, depose and say that (I am) (we are) the owner(s) of property located at
501 South 13th Street, for which (I am) (we are)
(Address)

requesting a (Zone Change, Special Use Permit, Variance, Conditional Use, Annexation, Appeal)
through the City of Belen. Furthermore, (I) (we) hereby appoint
of as our agent to act in our
behalf on all matters pertaining to the processing of this application.

Signed Ryan Lang

501 South 13th St
Address

309-333-6573
Phone

Subscribed and sworn to before me this 1 day of March, 20 17.

Lisa R Miller
Notary

My Commission Expires:

9-13-17

